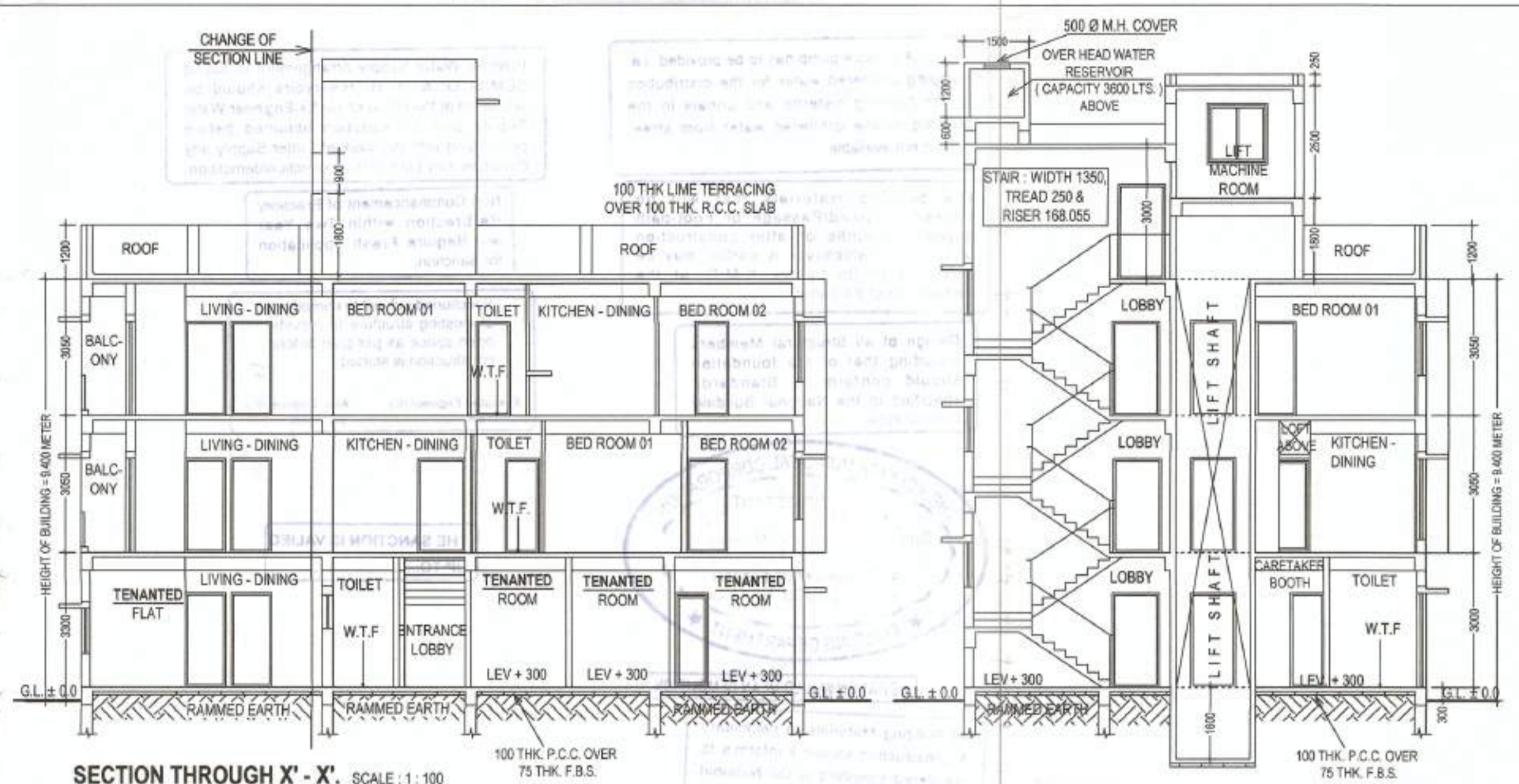




FRONT ELEVATION. SCALE: 1:100

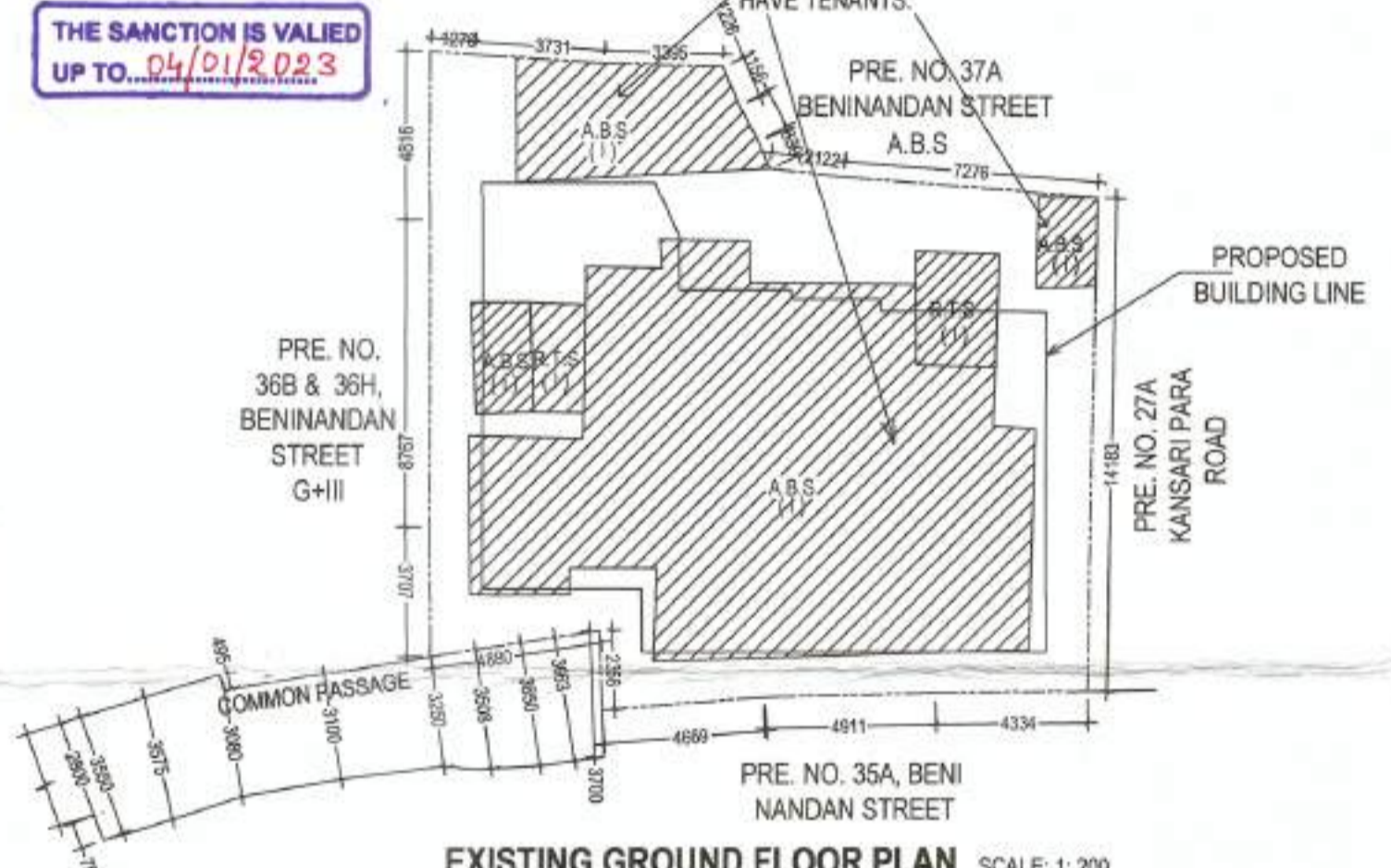


SECTION THROUGH X'-X'. SCALE: 1:100

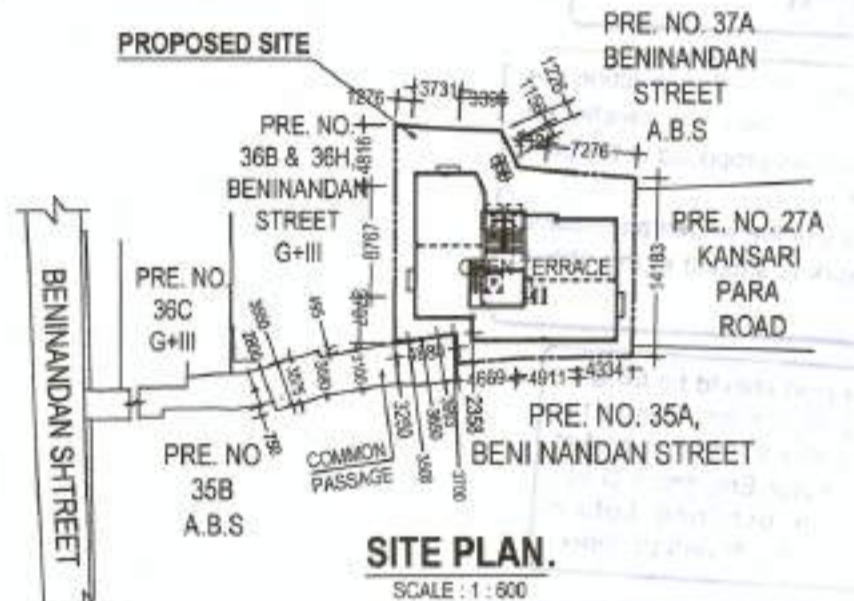
SECTION THROUGH Y'-Y'. SCALE: 1:100



EXISTING STRUCTURE TO BE DEMOLISHED BEFORE COMMENCEMENT OF NEW CONSTRUCTION WORK. THE PREMISES IS FULLY OCCUPIED BY THE OWNERS & THERE HAVE TENANTS.



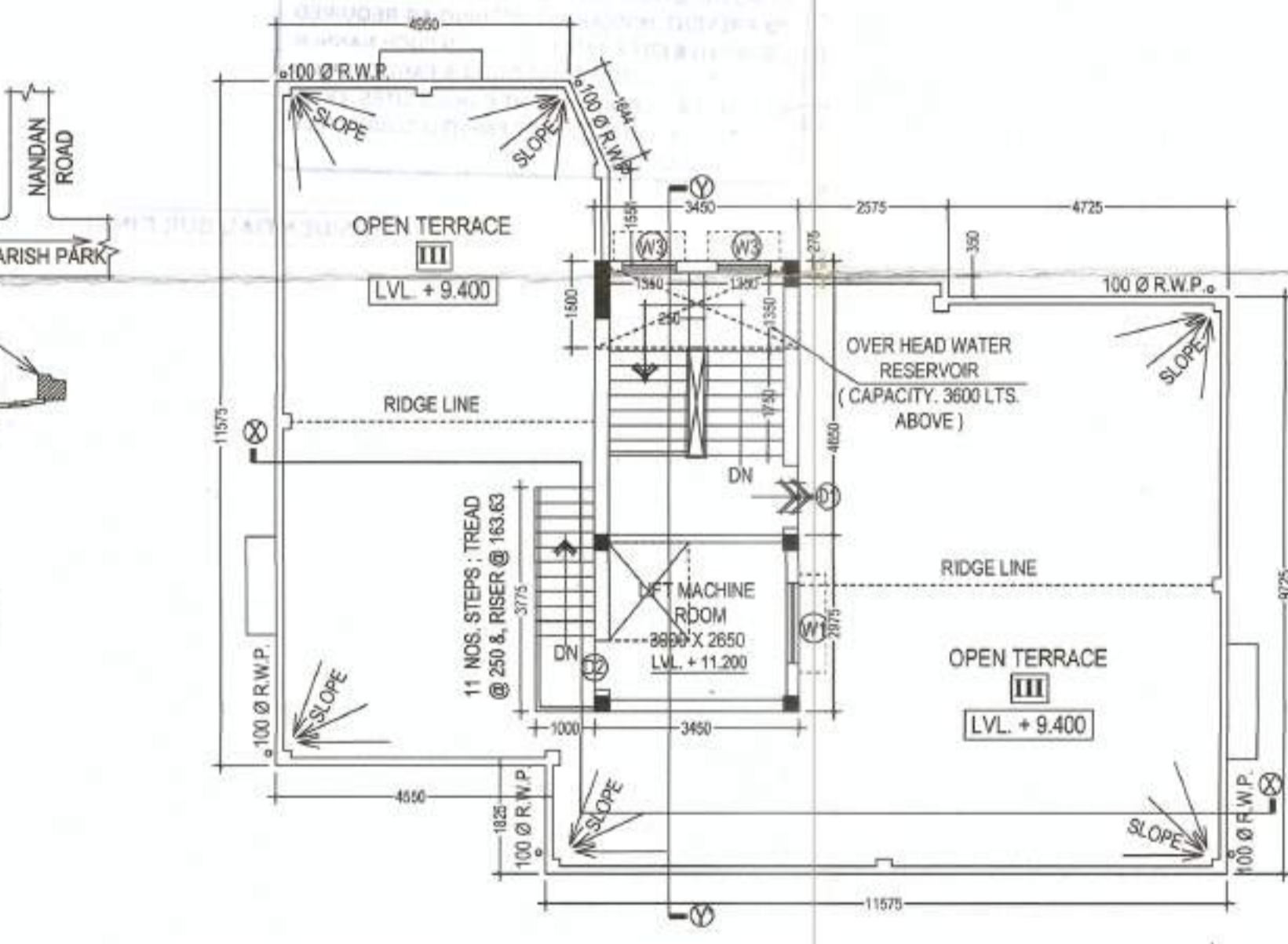
EXISTING GROUND FLOOR PLAN SCALE: 1:200



SITE PLAN. SCALE: 1:500



LOCATION PLAN SCALE: 1:4000

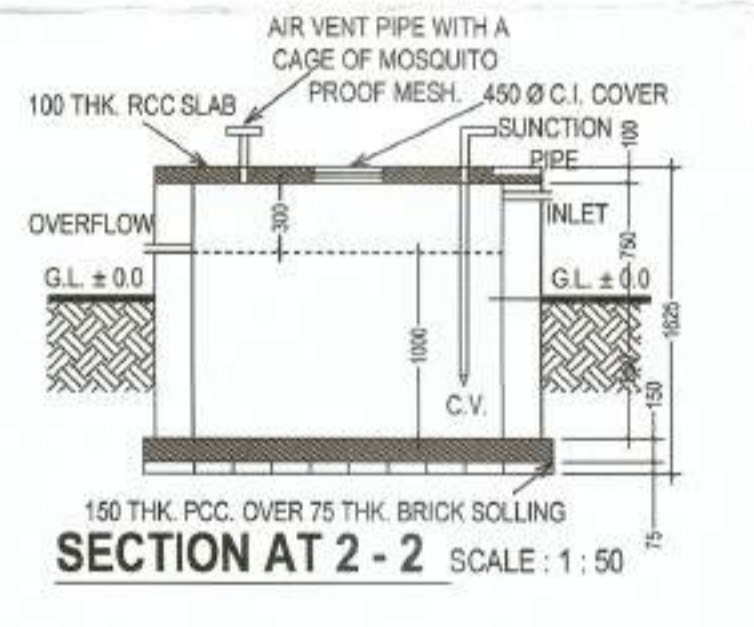


ROOF PLAN. SCALE: 1:100

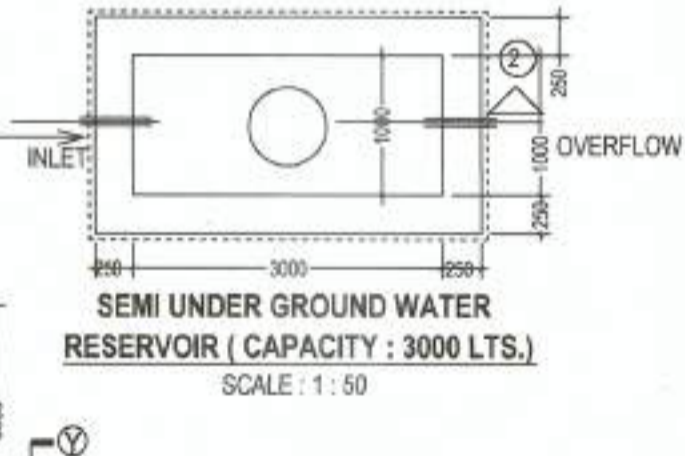
DOOR & WINDOW SCHEDULE :-

MARKED	TYPE	SILL HEIGHT FROM FLOOR	LINTEL HEIGHT FROM FL.	SIZE
D1	SOLID FLUSH	----	2100	1050 X 2100
D3	SOLID FLUSH	----	2100	900 X 2100
D2	SOLID FLUSH	----	2100	750 X 2100
DW	ROLLING SHUTTER	----	2100	2150 X 2100
W1	GLAZED	750	2100	1350 X 1350
W2	GLAZED	750	2100	1200 X 1350
W3	GLAZED	1100	2100	900 X 1000
W4	GLAZED	1350	2100	800 X 750

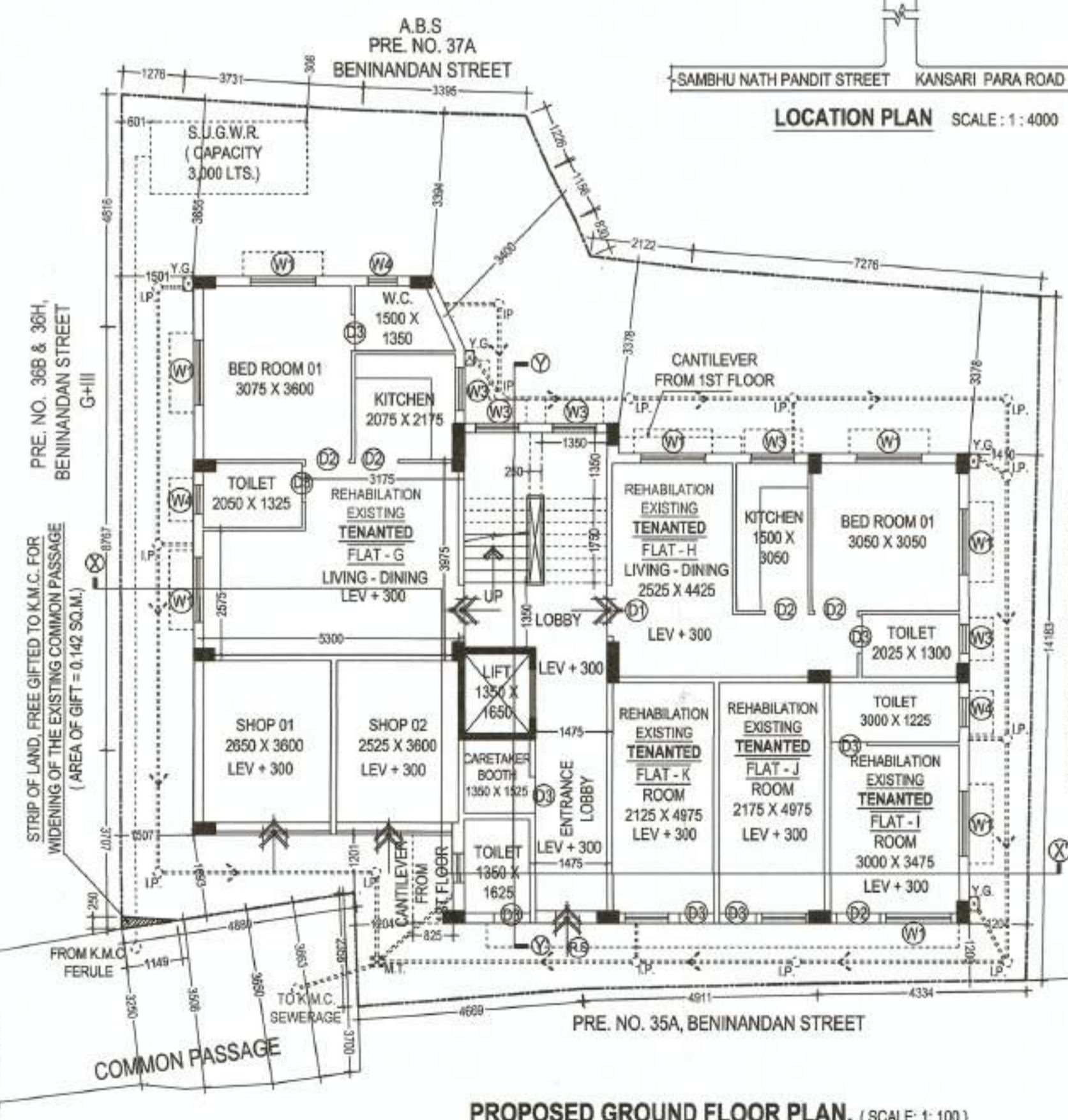
- SPECIFICATION OF CONSTRUCTION :-**
- 250 & 200 THK 1ST CLASS CEMENT BRICK WORK FOR EXTERNAL WALL IN SUPER STRUCTURE IN 1:6
 - 125 & 75 THK 1ST CLASS CEMENT BRICK WORK FOR INTERNAL WALL IN 1:4
 - LEAN CONCRETE. 1:1.5:3 WITH 19 MM DOWN GRADED STONE CH.P.S (M-20)
 - R.C.C. 1:1.5:3 FOR ROOF SLAB, BEAM, LINTEL, CHAJJA ETC.
 - CEMENT SAND PLASTER 18 MM ON OUTSIDE & 12 MM ON INSIDE WALL IN 1:6 & CEILING & CHAJJA IN 1:4
 - D.P.C. SHALL BE 50MM THICK IN 1:1/2:3 TONE WITH WATER PROOFING ADMIXTURE
 - 25 MM THK I.P.S. FLOORING WITH NEAT CEMENT FINISH AT TOP
 - 75 MM THK SINGLE BRICK FLAT SOLING ON FOUNDATION
 - +150 LVL. TO THE FINISHED GROUND FLOOR LVL.
 - TREAD WIDTH 250 EACH & RISER HEIGHT IS 159 EACH
 - FLOOR TO SLAB HEIGHT SHALL BE 3025 MM. & THICKNESS OF THE SLAB SHALL BE 100 MM. THEREFORE, CLEAR HEIGHT OF EACH FLOOR SHALL BE 2925 MM.
 - 125 THK R.C.C. WALL FOR LIFT WELL



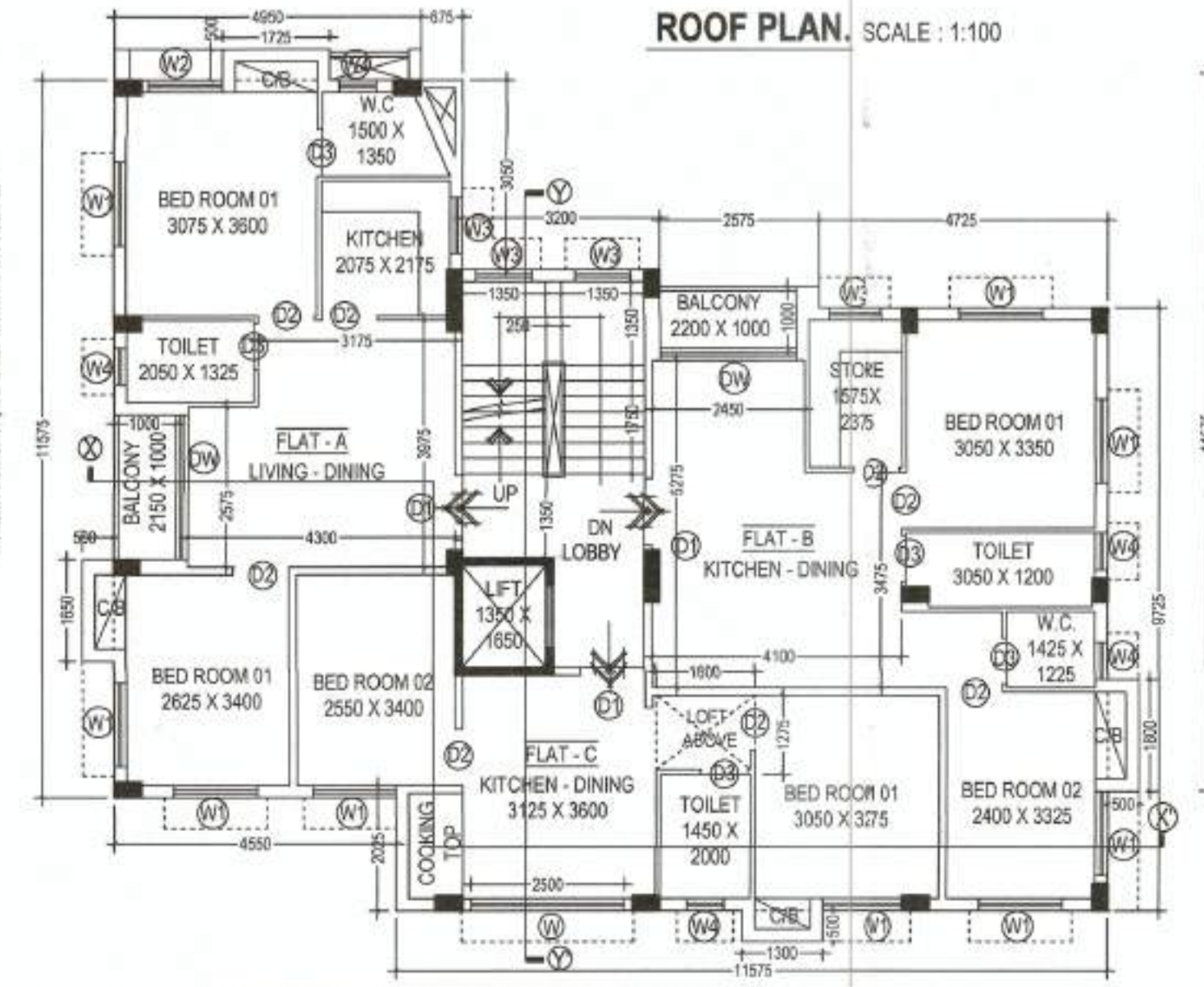
SECTION AT 2-2 SCALE: 1:50



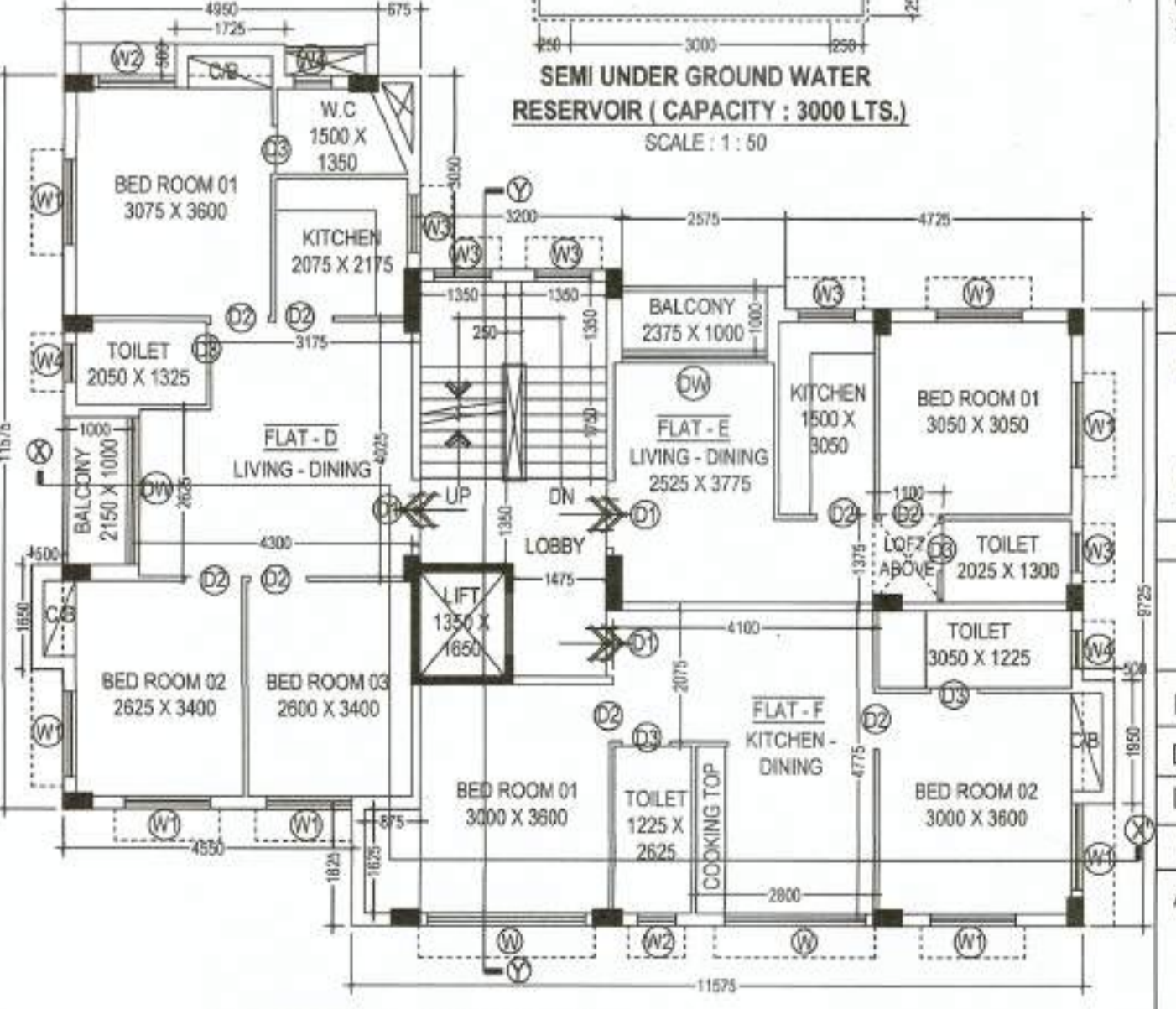
SEMI UNDER GROUND WATER RESERVOIR (CAPACITY: 3000 LTS.) SCALE: 1:50



PROPOSED GROUND FLOOR PLAN. (SCALE: 1:100)



PROPOSED 1st FLOOR PLAN. (SCALE: 1:100)



PROPOSED 2nd FLOOR PLAN. (SCALE: 1:100)

- ASSEESSE NO. : 11-071-04-0048-9
- DETAIL OF REGISTERED DEED :- BOOK NO. 1, VOLUME NO. 39 PAGES 2828 TO 2844 BEING NO. 09886 FOR THE YEAR 19.12.2013 PLACE: A.D.S.R. ALIPORE
- DETAIL OF REGISTERED DEED :- BOOK NO. 1, VOLUME NO. 39 PAGES 2828 TO 2844 BEING NO. 06886 FOR THE YEAR 2013 PLACE: A.D.S.R. ALIPORE
- DETAIL OF REGISTERED POWER OF ATTORNEY :- BOOK NO. 1, VOLUME NO. 14 PAGES 801 TO 814 BEING NO. 03297 FOR THE YEAR 2013 PLACE: A.D.S.R. ALIPORE

- DETAILS OF REGISTERED BOUNDARY DECLARATION :- BOOK NO. 1, VOL. NO. 14 PAGE NO. 4454 TO 4473 BEING NO. 03055 DATE - 30.04.2015 REGD. AT A.D.S.R. ALIPORE
- DETAILS OF REGISTERED UNDERTAKING FOR TENANTS :- BOOK NO. 1, VOL. NO. 1605-2017 PAGE NO. 63508 TO 63620 BEING NO. 160502432 DATE - 03.05.2017 REGD. AT A.D.S.R. ALIPORE
- DETAILS OF REGISTERED COMMON PASSAGE :- BOOK NO. 1, VOL. NO. 1605-2015 PAGE NO. 99438 TO 99448 BEING NO. 160507479 DATE - 30.10.2015 REGD. AT A.D.S.R. ALIPORE

- DETAILS OF STRIP OF LAND :- BOOK NO. 1, VOL. NO. 1605-2017 PAGE NO. 15339 TO 15345 BEING NO. 160505681 DATE - 07.09.2017 REGD. AT A.D.S.R. ALIPORE

AREA OF THE LAND : 05 K. - 00 CH. - 00 SQ.FT. i.e. 3600 SQ.FT. i.e. 334.448 SQ.M. [AS PER DEED]
 AREA OF THE LAND : 04 K. - 08 CH. - 30 SQ.FT. i.e. 3270 SQ.FT. i.e. 303.783 SQ.M. [AS PER BOUNDARY DECLARATION]
 PERMISSIBLE GROUND COVERAGE : 56.540 % i.e. 171.759 SQ.M.
 PROPOSED GROUND COVERAGE : 56.481 % i.e. 171.580 SQ.M.
 PERMISSIBLE F.A.R. : 1.750
 PROPOSED BUILDING HEIGHT : 9.400 METER
 TOTAL NUMBER OF TENEMENT : 11 (NOS)

FLOOR	RESIDENTIAL	STAIRWAY	LIFT LOBBY	LIFT WELL	STAIR WELL & CUT OUT	GROSS FLOOR AREA	NET COVER AREA
Ground floor	169.172 SQ.M.	13.128 SQ.M.	2.618 SQ.M.	-----	-----	189.172 SQ.M.	153.426 SQ.M.
1st floor	171.579 SQ.M.	12.690 SQ.M.	2.618 SQ.M.	2.228 SQ.M.	0.438 SQ.M.	189.913 SQ.M.	153.605 SQ.M.
2nd floor	171.579 SQ.M.	12.690 SQ.M.	2.618 SQ.M.	2.228 SQ.M.	0.438 SQ.M.	189.913 SQ.M.	153.605 SQ.M.
Total	512.330 SQ.M.	38.508 SQ.M.	7.854 SQ.M.	4.456 SQ.M.	0.876 SQ.M.	506.998 SQ.M.	460.636 SQ.M.

TOTAL EXEMPTED AREA : 46.361 SQ.M.

2. TENAMENT CALCULATION :

FLAT MARKED	TENAMENT AREA	SERVICE AREA	TENAMENT AREA (ACT.)	NO.
A	54.577 SQ.M.	8.286 SQ.M.	62.863 SQ.M.	01 NOS.
B	57.188 SQ.M.	8.818 SQ.M.	66.006 SQ.M.	01 NOS.
C	40.880 SQ.M.	6.163 SQ.M.	47.043 SQ.M.	01 NOS.
D	64.381 SQ.M.	9.706 SQ.M.	74.087 SQ.M.	01 NOS.
E	38.448 SQ.M.	5.495 SQ.M.	43.943 SQ.M.	01 NOS.
F	51.796 SQ.M.	7.809 SQ.M.	59.605 SQ.M.	01 NOS.
G	44.002 SQ.M.	6.634 SQ.M.	50.636 SQ.M.	01 NOS.
H	35.391 SQ.M.	5.335 SQ.M.	40.726 SQ.M.	01 NOS.
I	14.798 SQ.M.	2.231 SQ.M.	17.029 SQ.M.	01 NOS.
J	11.586 SQ.M.	1.747 SQ.M.	13.333 SQ.M.	01 NOS.
K	11.649 SQ.M.	1.756 SQ.M.	13.405 SQ.M.	01 NOS.

GROUND FLOOR SHOP BUILT UP AREA : 20.602 SQ.M.
 GROUND FLOOR SHOP CARPET AREA : 18.537 SQ.M.
 CAR PARKING REQUIRED : 02 (TWO) NOS.
 CAR PARKING PROVIDED : NIL (AS PER RULE 77(5) AS THE ABATING ROAD WITH IS LESS THEN 3.50 M)
 TOTAL CAR PARKING AREA : NIL
 TOTAL CUPBOARD AREA : 5.899 SQ.M.
 TOTAL LOFT AREA : 3.552 SQ.M.
 STAIR COVER AREA : 16.042 SQ.M.
 LIFT MACHINE ROOM AREA : 10.285 SQ.M.
 O.H.W. TANK AREA : 5.175 SQ.M.
 LIFT MACHINE ROOM STAIR AREA : 3.774 SQ.M
 OTHERS AREA FOR FEES : 56.034 SQ.M

Self & Constituted attorneys of SIGNATURE OF OWNER / AUTHORITY
 1) ASISH DAS 2) TUSHAR NATH DAS
 3) SMT. SIKHA DAS 4) ABHIJIT DAS
 Self & constitute attorney of Mr. Ashish Das, Mr. Tushar Nath Das, Smt. Sikha Das, & Mr. Abhijit Das

CERTIFICATE OF ARCHITECT :-
 CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF KOLKATA MUNICIPAL CORPORATION BUILDING RULES, 2009, AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFORM WITH THE PLAN AND THAT IT IS A BUILDABLE SITE & NOT A FILLED UP TANK.

(Signature)
ARUNAVA DAS
 Registered Architect
 Reg. No. CA/2007/39855

Mr. ARUNAVA DAS
 Registered Architect
 Reg. No. CA / 2007 / 39855
 SIGNATURE OF L.B.S. / ARCHITECT

CERTIFICATE OF STRUCTURAL ENGINEER :-
 THE STRUCTURAL DESIGN & DRAWINGS OF BOTH FOUNDATION & SUPERSTRUCTURE OF THE BUILDING HAS BEEN PREPARED BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA & THE FOUNDATION IS CAPABLE OF TAKING THE LOAD. CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECTS.

(Signature)
MALAY KUMAR BASU
 B.C.E.; P.G.D.D.M., MIB (Arch)
 Chartered Engineer (I)
 M.I.C.E.S., M-Tech (Struct)
 12/a, Jada Bhattacharjee Lane
 Kolkata - 700 026
 SIGNATURE OF STRUCTURAL ENGINEER

Mr. MALAY KUMAR BASU
 Structural Engineer (ESE/1197)

PROJECT :
 PROPOSED THREE STORIED [9.400 METER HEIGHT] RESIDENTIAL BUILDING AT PREMISES NO. 36 A, BENINANDAN STREET, WARD NO. 071, P. S. KALIGHAT, KOLKATA 700 025 UNDER BOROUGH IX [K. M. C.]
 AS PER U / S 393 A OF C.M.C. ACT 1980 & K.M.C. BLDG. RULE 2009. (AMENDED)

TITLE : [PLAN CASE NO. 2017090009]
PLANS, ELEVATION, SECTIONS, SITE PLAN & LOCATION PLAN

DRAWING SHEET NO.
 DEALT : A. DAS
 DATE : 20.12.2017
SCALE 1:100
 (UNLESS OTHERWISE MENTIONED)
 ALL DIMENSIONS ARE IN M.M. (UNLESS OTHERWISE MENTIONED)

Architectural Consultants : **archin work**
 ARCHITECTURE . TOWN PLANNING . INTERIOR . LANDSCAPE . GRAPHIC DESIGN
 02, LAKE ROAD [BESIDE LAKE MARKET], 1ST FLOOR, KOLKATA 700 029
 phone : (033) 6416 7575 e - mail : archin_work@rediffmail.com

THIS DRAWING IS A PROPERTY OF archin work. ANY MODIFICATION, CHANGES, DEVIATIONS IS NOT PERMISSIBLE WITHOUT PRIOR INTIMATION OF THE ARCHITECT. TO THE CONTRARY THIS WILL BE TREATED AS ILLEGAL ACT.

PARTY'S COPY

A suitable pump has to be provided i.e. pumping unfiltered water for the distribution to the flushing cisterns and urinals in the building in case unfiltered water from street main is not available.

The building materials that will be stacked on Road/Passage or Foot-path beyond 3-months or after construction of G. Floor, whichever is earlier may be seized forthwith by the K.M.C. at the cost and risk of the owner.

Design of all Structural Members including that of the foundation should conform to Standards specified in the National Building Code of India.



DEVIATION WOULD MEAN DEMOLITION

All Building Materials to necessary & construction should conform to standards specified in the National Building Code of India.

Before starting any Construction the site must conform with the plans sanctioned and all the conditions as proposed in the plan should be fulfilled.

The validity of the written permission to execute the work is subject to the above conditions.

No rain water pipe should be fixed or discharged on Road or Footpath. Drainage plan should be submitted at the Borough Executive Engineer's Office and the sanction obtained before proceeding with the drainage work.

CONSTRUCTION SITE SHALL BE MAINTAINED TO PREVENT MOSQUITO BREEDING AS REQUIRED U/S 496 (1) & (2) OF CMC ACT 1980. IN SUCH MANNER SO THAT ALL WATER COLLECTION & PARTICULARLY LIFT WELLS, VATS, BASEMENT CURING SITES, OPEN RECEPTACLES ETC. MUST BE EMPLOYED COMPLETELY TWICE A WEEK.

RESIDENTIAL BUILDING

Plan for Water Supply arrangement including SEMILI G. & O. H. reservoirs should be submitted at the Office of the Ex-Engineer Water Supply and the sanction obtained before proceeding with the work of Water Supply any deviation may lead to disconnection/demolition.

Non Commencement of Erection/ Re-Erection within Two Year will Require Fresh Application for Sanction.

Sanctioned subject to demolition of existing structure to provide open space as per plan before construction is started.

Executive Engineer (C) BR. IX
Asst. Engineer (C) Br. PLAN IX

ESE is responsible and bound to comply Rule-52 (6) of KMC Bldg. Rule-2009

THE SANCTION IS VALID UP TO 04/01/2023



Validity of Sanctioned Plan is hereby extended with effect from 05/01/2013 for a period of 03 (Three) Months/Years (--- Months/Years) vide order of the Mpl. Commissioner dated 13/01/23 U/s 399 of the C.M.C. Act'80

Dy. Chief Engineer / Ex. Engineer
North/South Borough No. IX
Building Dept.
K.M.C.

Revalidated For 03 (Three) Years 05/01/23
Approved By: EX-ENG (C) BR. IX dated 13/01/23
Asst. Engr. (C) Bldg Br. No IX
Ex. Engr. (C) Bldg Br. No IX
K.M.C.

THE KOLKATA MUNICIPAL CORPORATION
BUILDING DEPARTMENT, Borough IX
11, Belvedere Road, Kolkata-700022

A. Precautions to be taken for pollution free environment:-

- 1) Keep construction area / building with periodic debris collecting due to earth, or other action, as appropriate for the location.
- 2) Apply water and maintain with a visible damp or moist condition for temporary stabilization.
- 3) Apply water prior to loading or any other moving activity to keep the soil moist throughout the process.
- 4) Load vehicle speed to 15 mph on the work site.
- 5) Check wheels and undercarriage of load trucks prior to leaving construction site.
- 6) Apply and maintain dust suppression on load trucks.
- 7) Apply a cover screen to stockpile and stabilize structure at completion of activity for water and maintain a dust palliative to all cover surfaces of the stockpile.
- 8) Stabilize surface with where loading, support equipment and vehicles will operate by using water and maintain surface with a visible damp or moist condition when loading, support equipment and vehicles will operate.
- 9) Stabilize adjacent disturbed soil following paving, demolition, excavation, landscaping activity or installation of vegetation or soil cover.
- 10) Maintain dust control during working hours and clean track surface prior to workers at the end of the work shift / day. Track out must not exceed 10 feet of water and must be cleaned daily, at the minimum.
- 11) Stabilize sloping surface using soil binders until vegetation or ground cover is effectively stabilizes the slope.
- 12) Disposal of debris in consultation with the local authorities following environmental management process.
- 13) During construction work, including cutting of earth, ambient noise level should not exceed more than 65 dB(A).

B. Practices to be observed for pollution free Environment:-

- 1) Don't dispose of debris indiscriminately.
- 2) Don't allow the vehicle to run at high speed within the work site.
- 3) Don't use materials without proper dust control, dust control facility.
- 4) Don't keep materials without effective cover.
- 5) Don't allow access to the work area except workers to limit soil disturbance and prevent access by loading, dumping, vegetation, leaves or other barrier.
- 6) Don't leave the work site and remain track unattended.
- 7) Don't keep materials or debris on the road or premises.
- 8) Burning of old tires in the work site as a fuel during construction and repair of the road for sealing and/or should be discarded.



THE SANCTION IS VALID UP TO 04/01/2023