



Notes:

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE SYSTEMS THROUGHOUT THE PROJECT.
6. THE CONTRACTOR SHALL USE HIGH-QUALITY MATERIALS AND WORKMANSHIP.
7. THE CONTRACTOR SHALL SUBMIT REGULAR PROGRESS REPORTS TO THE ARCHITECT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS AND THE PUBLIC.
9. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE.
10. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTIES FROM DAMAGE.
11. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
13. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
15. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.

Specifications:

CONCRETE: All concrete shall be of the following strength and quality: 25 MPa (3600 PSI) for all structural concrete. The concrete shall be placed and finished in accordance with the requirements of the relevant standards.

STEEL: All steel reinforcement shall be of the following grade and quality: 460 MPa (66000 PSI) for all structural steel. The steel shall be placed and finished in accordance with the requirements of the relevant standards.

FOUNDATION: The foundation shall be of the following type and quality: Reinforced concrete pile foundation. The piles shall be of the following type and quality: Reinforced concrete piles, 300 mm diameter, 15 m length.

ROOFING: The roof shall be of the following type and quality: Reinforced concrete slab with 100 mm concrete and 100 mm insulation. The roof shall be finished with a waterproofing membrane and a 20 mm concrete screed.

WALLS: The walls shall be of the following type and quality: Reinforced concrete walls, 200 mm thick. The walls shall be finished with a plaster and paint.

FLOORS: The floors shall be of the following type and quality: Reinforced concrete slabs, 100 mm thick. The floors shall be finished with a plaster and paint.

CEILING: The ceiling shall be of the following type and quality: Reinforced concrete ceiling, 100 mm thick. The ceiling shall be finished with a plaster and paint.

DOORS AND WINDOWS: The doors and windows shall be of the following type and quality: Reinforced concrete doors and windows, 200 mm thick. The doors and windows shall be finished with a plaster and paint.

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	CONCRETE	1000	M ³	100	100000
2	STEEL	500	T	200	100000
3	FOUNDATION	100	M	1000	100000
4	ROOFING	1000	M ²	100	100000
5	WALLS	1000	M ²	100	100000
6	FLOORS	1000	M ²	100	100000
7	CEILING	1000	M ²	100	100000
8	DOORS AND WINDOWS	100	M ²	1000	100000
9	LABOR	1000	M	100	100000
10	OTHER	1000	M	100	100000
TOTAL					1000000

SCALE USED : 1:100, OTHERWISE MENTIONED.

THE PLOT IS BUTTED & BOUNDARY WALL BOUNDARY MEASUREMENT MORE OR LESS WITH REGD. DEED. REFERENCE OF DECLARATION ATTACHED WITH THE CASE FILE.
THE CHARACTER OF THE ROAD IS A H.M.C ROAD. I DO HERE BY DECLARE WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN BY ME AS PER PROVISION OF H.M.C BUILDING RULES 2009 AS AMENDED TIME TO TIME AND THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFIRM WITH THE H.M.C. SURVEY AND THAT IS BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK.

Constituted Attorney of
1. RABIN NASKAR
2. RITWICK NASKAR

MAA BHABATARINI REALTOR PVT. LTD.

Mony Mondal
Mg. Director

SIGNATURE OF APPLICANT(S)

Mintu Paul

Ar. Mintu Paul (B. Arch,
L.B.A. No.-49, of H.M.C
S. Duihya, Andul Howrah-711302

SIGNATURE OF L.B.A.

Avijit Sarkar

AVIJIT SARKAR
STRUCTURAL ENGINEER ME (CIVIL)
H. M. C. LICENCE No. ESE/1/08
GRADE & No. AM/5176604
TYPE-III, FLAT No.- 3 & 4
DUMMURJALIA, P.O.- SANTRAGACHI
P.S.- CHATTERJEE HAT, HOWRAH-711 104

SIGNATURE OF STRUCTURAL ENGINEER

PLAN OF PROPOSED G+4 STORIED RESIDENTIAL BUILDING (WITHIN NO RESTRICTION OF HEIGHT) AT 62/1, ANDUL ROAD, COMPRISING AT R.S. DAG NO.-293, R.S. KHATIAN NO.- 424/1, L.R. DAG NO.-426, UNDER L.R. KHATIAN NO.- 4731 & 4827, OF MOUZA.- THANAMAKUA, J. L. NO.-40, P.S.- SANKRAIL, DIST.- HOWRAH, H.M.C. WARD NO.- 45, UNDER BOROUGH- VII, PIN-711109.

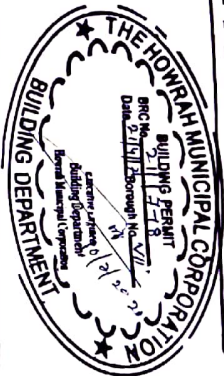
DRAWING NO. :
HB/SA/POD___/SANC/A-001
SHEET NO. :
REVISION NO. : R2
DATE : 05/07/2019

DEALT BY:
SUMIT ADHYA.



SPACE FOR H.M.C SEAL

PARTY'S COPY



CORRECTION PLAN
BRC No. 2118/Ward No. 45

Sub Asst. Engineer
Bldg. Department
Howrah Municipal Corporation

APPLICANT HAS TO EXERT A CONCRETE FLAG:
PREMISES NO. :-
NAME OF THE IBA / LBS :-
NAME OF THE STRUCTURAL ENGR. :-
NAME OF THE GEO. TECHNICAL ENGINEER :-
NAME OF THE APPLICANT :-
NAME OF THE BUILDING PERMIT :-

APPROVED AS PER ORDER OF COMMISSIONER Dt. 24/07/19

The applicant shall keep at the site one set of plans and Specifications and shall also exhibit at a conspicuous place the number of the Premises, the Name of the Architect or Licensed Building Surveyor, Structural Engineer and Geo. Technical Engineer, Name of Owner and number and date of the Building Permit.

CONSTRUCTION SITE SHALL BE MAINTAINED TO PREVENT MOSQUITO BREEDING IN SUCH MANNER SO THAT ALL WATER COLLECTION & PARTICULARLY LIFT WELLS, VATS, BASEMENT CURING SITES, OPEN RECEPTACLES ETC. MUST BE EMPTIED COMPLETELY TWICE A WEEK.

Sanctioned Conditionally on undertaking from the owner that if any part of the building to be constructed falls within the alignment of HMG, the same will be demolished by the owner at his/her risk and for this the owner will not claim any compensation from HMC

Plan for water connection arrangement SEMI U. G. should be submitted at the Office of the Assistant Engineer of the Borough and sanction to be obtained before proceeding with the work of Water Supply. Any deviation may lead to disconnection / demolition.

No rain water pipe should be fixed or discharged on Road or Footpath. Drainage plan should be submitted at the Borough Assistant Engineer's Office and the sanction obtained before proceeding with the drainage work.

PLACED IN MUNICIPAL BUILDING COMMITTEE DATED 15/01/18

Approved vide B.O.A. MEETING Dt. 21/8/19
Sl. No. 06

Structural plan and design calculation as submitted by the structural engineer have been kept with B.P. No. 2118/Ward No. 45 for record of the Howrah Municipal Corporation without verification No deviation from the submitted structural plan should be made at the time of erection without submitting fresh structural plan along with design calculation and stability certificate in the prescribed form, necessary steps should be taken for the safety of the adjoining premises public and private properties and safety of human life during construction.

(Signature)
Executive Engineer
Building Department
Howrah Municipal Corporation

Sanctioned subject to demolition of existing structure to provide open space as per plan before construction is started.

Before starting any Construction the site must conform with the plans sanctioned and all the conditions as proposed in the plan should be fulfilled.

The validity of the written permission to execute the work is subject to the above conditions.

The Building Materials necessary for construction should conform to standard specified in the National Building Code of India.

Design of all structural Members including that of the foundation should conform to Standards specified in the National Building Code of India.

Non Commencement of Erection / Re-Erection within Two Year will Require Fresh Application for Sanction.

RESIDENTIAL BUILDING

DEVIATION WOULD MEAN DEMOLITION

Necessary steps should be taken for the safety of the lives of the adjoining public and private properties during construction. Also to avoid pollution as per WBPCB Guidelines in VAGUE.

(Handwritten signature)
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