

APPROVED

PLAN No. CG/11-268/16
RD/08/10/00/00/00
APN
2018
Date: 22.06.2018

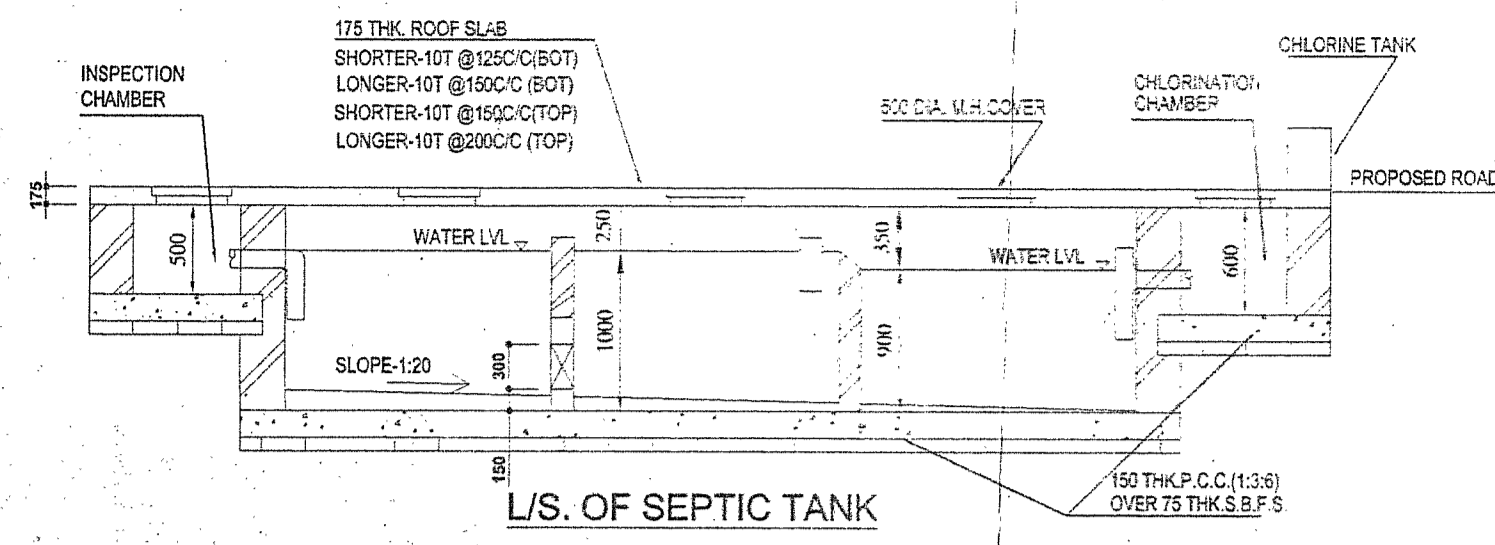
Commissioner
Durgapur Municipal Corporation

Mohan Lal Mohan,
Planner-in-Charge, Building Plan,
Durgapur Municipal Corporation

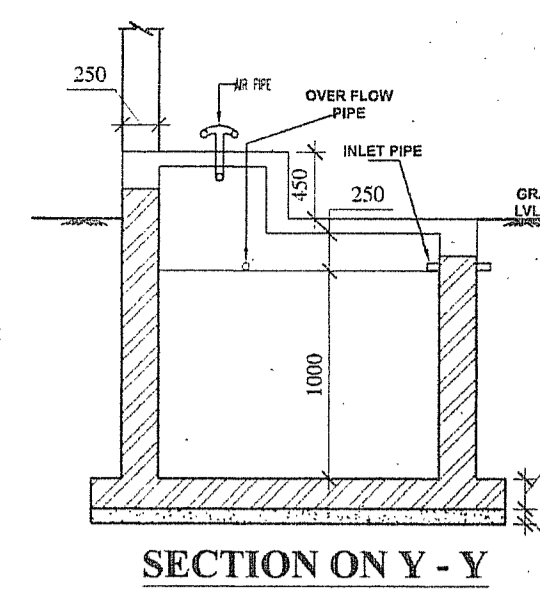
Structural Safety should be
Ensured by the Party

PERMISSION ACCORDED AS
PER ACT AND BUILDING
PLAN REGULATIONS (1973)
AND 1984.

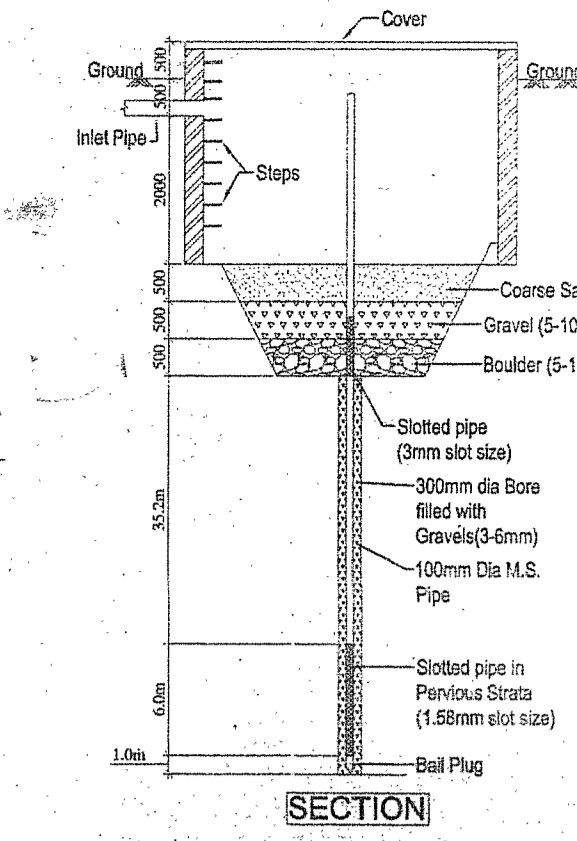
BUILDING PLAN APPROVED
ON THE BASIS OF THE INDENTED
BTT BOND, LAND MUTATION
AND CONVERSION IS THE RESPONSIBILITY
OF THE OWNER.



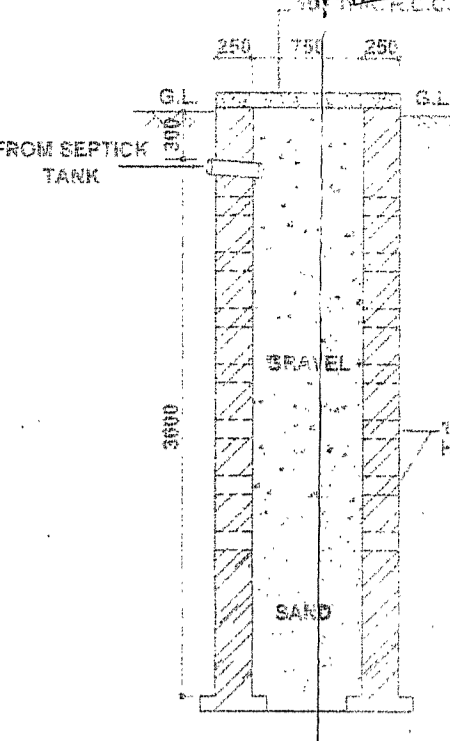
L/S OF SEPTIC TANK



SECTION ON Y - Y

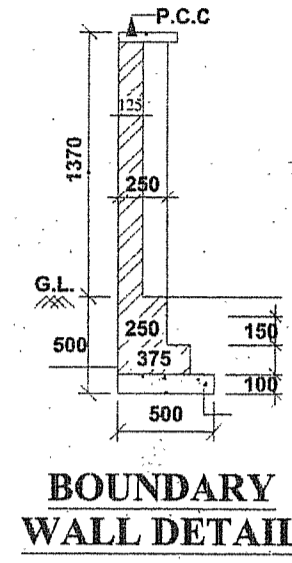
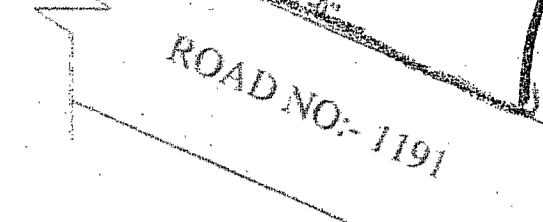


SECTION

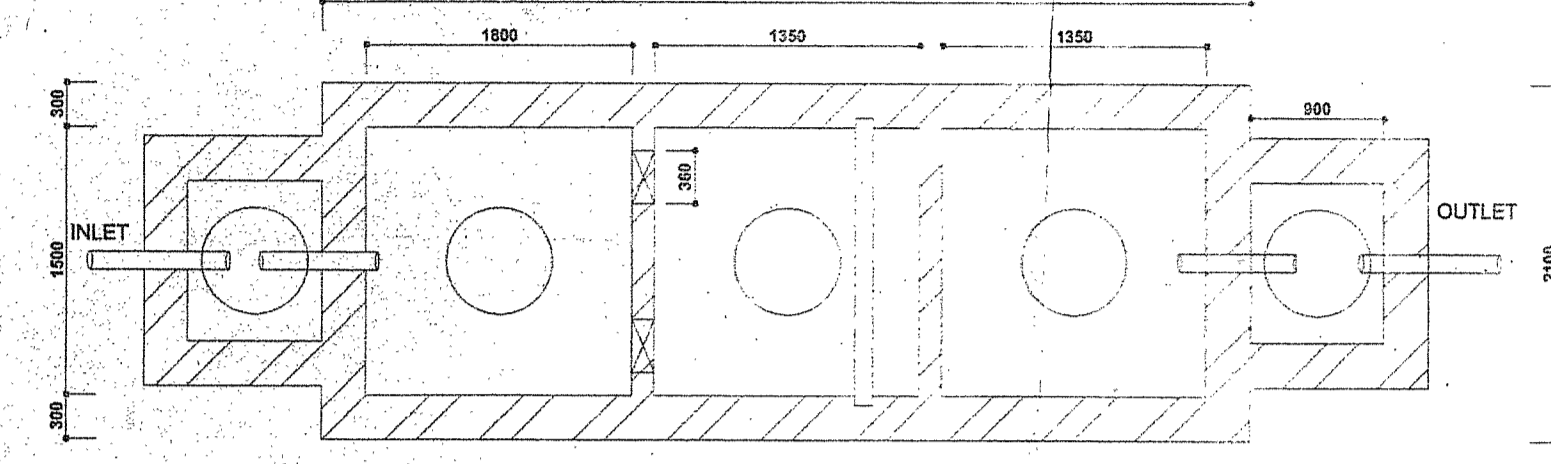


SECTION - Z Z

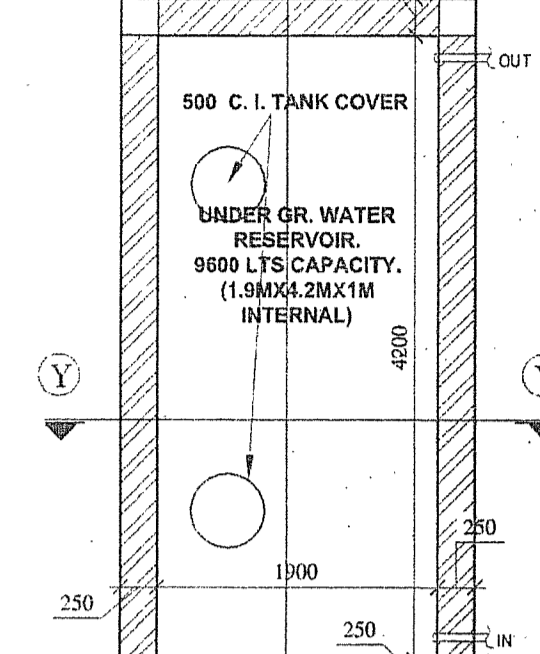
LAYOUT PLAN (AS PER DEED)



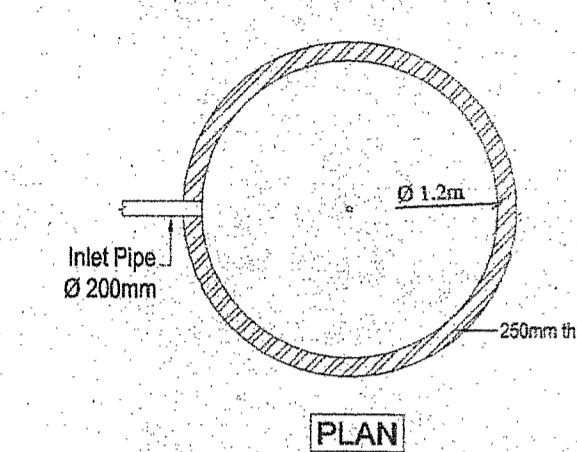
BOUNDARY WALL DETAIL



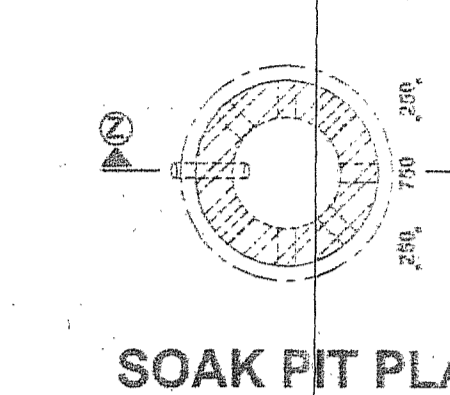
DETAIL OF SEPTIC TANK
100 users



DETAIL OF U.G. W.R.



DETAIL OF RAIN WATER
RECHARGE PIT
(NOT TO SCALE)



SOAK PIT PLAN

LAYOUT PLAN (AS PER DEED)

SCALE : - 1 : 400

SCALE : - 1 : 200

SCALE : - 1 : 50

SCALE : - 1 : 200

SCALE : - 1 : 400

SCALE : - 1 : 400

SCALE : - 1 : 400

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SCHEDULE OF DOORS & WINDOWS		
MARK	SIZE (MM)	DESCRIPTION
D	1050X2100	PANEL DOOR
D1	900X2100	PANEL DOOR
D2	750X2100	PANEL DOOR
D3	750X2100	P.V.C. DOOR AND FRAME
W	1500X1200	GLAZED WINDOW WITH GRILL
W1	1200X1200	- DO -
W2	900X1200	- DO -
W3	750X750	GLAZED LOUVRES
SW	900X2200	GLAZED WINDOW WITH GRILL
EF	300MM Ø	EXHAUST FAN

SCHEDULE OF FLOOR FINISHES		
TYPE	THICK	DESCRIPTION
(A)	40 MM	L.P.S. FLOORING WITH 150 HIGH L.P.S. SKTG.
(B)	40 MM	CERAMIC TILES FLOORING WITH 150 HIGH WHITE GLAZED DADD.

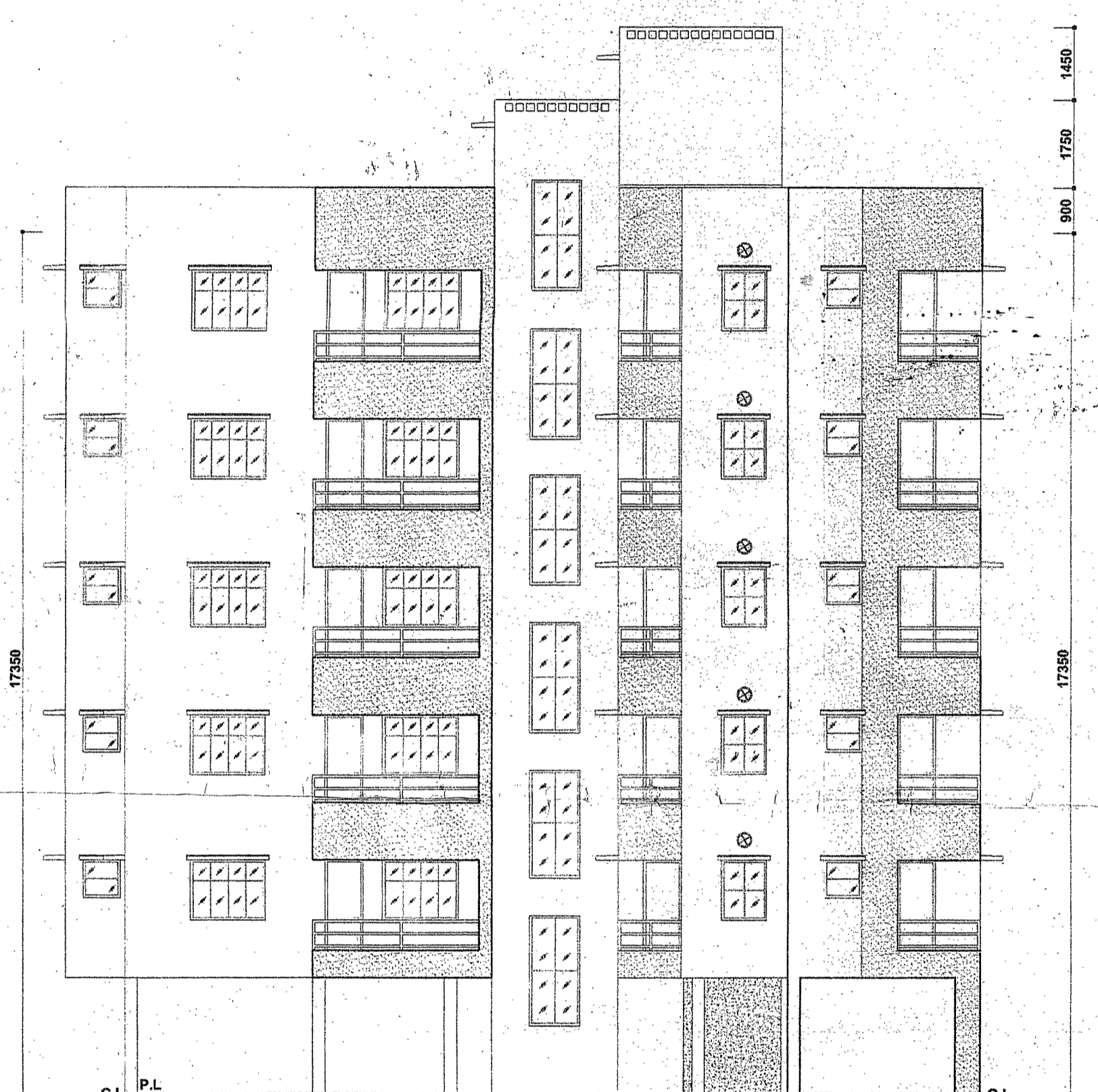
NOTES:-
1. ALL DIMENSIONS ARE IN MM.
2. WRITTEN DIMENSIONS MUST BE FOLLOWED.
3. OWNER'S PLOT SHOWN IN RED COLOUR.

AREA STATEMENT		
1. LAND AREA (AS PER DEED)	-	404.49 SQ.M
2. PER. FLOOR AREA*	-	222.17 SQ.M (54.9 %)
3. PROPOSED GROUND COVERAGE	-	163.57 SQ.M
4. PROPOSED TYPICAL FLOOR	-	221.36 SQ.M
5. PROPOSED TYPICAL FLOOR (WITHOUT LIFT & COMMON AREA)	-	202.85 SQ.M
6. FLOOR AREA (1ST FL. TO 5TH FL.)	-	221.36 SQ.M x 5 = 1106.80 SQ.M
7. PERMISSIBLE F.A.R.	-	2.75
8. PROPOSED CONSUMED F.A.R.	-	2.75
9. TOTAL FLOOR AREA (GR.FL. TO 5TH FL.)	-	163.57 X 1106.80 = 1270.37 SQ.M
10. HEIGHT OF THE BUILDING	-	17.35 M.
11. NO. OF FLATS	-	15
12. NO. OF PARKING PROVIDED	-	15

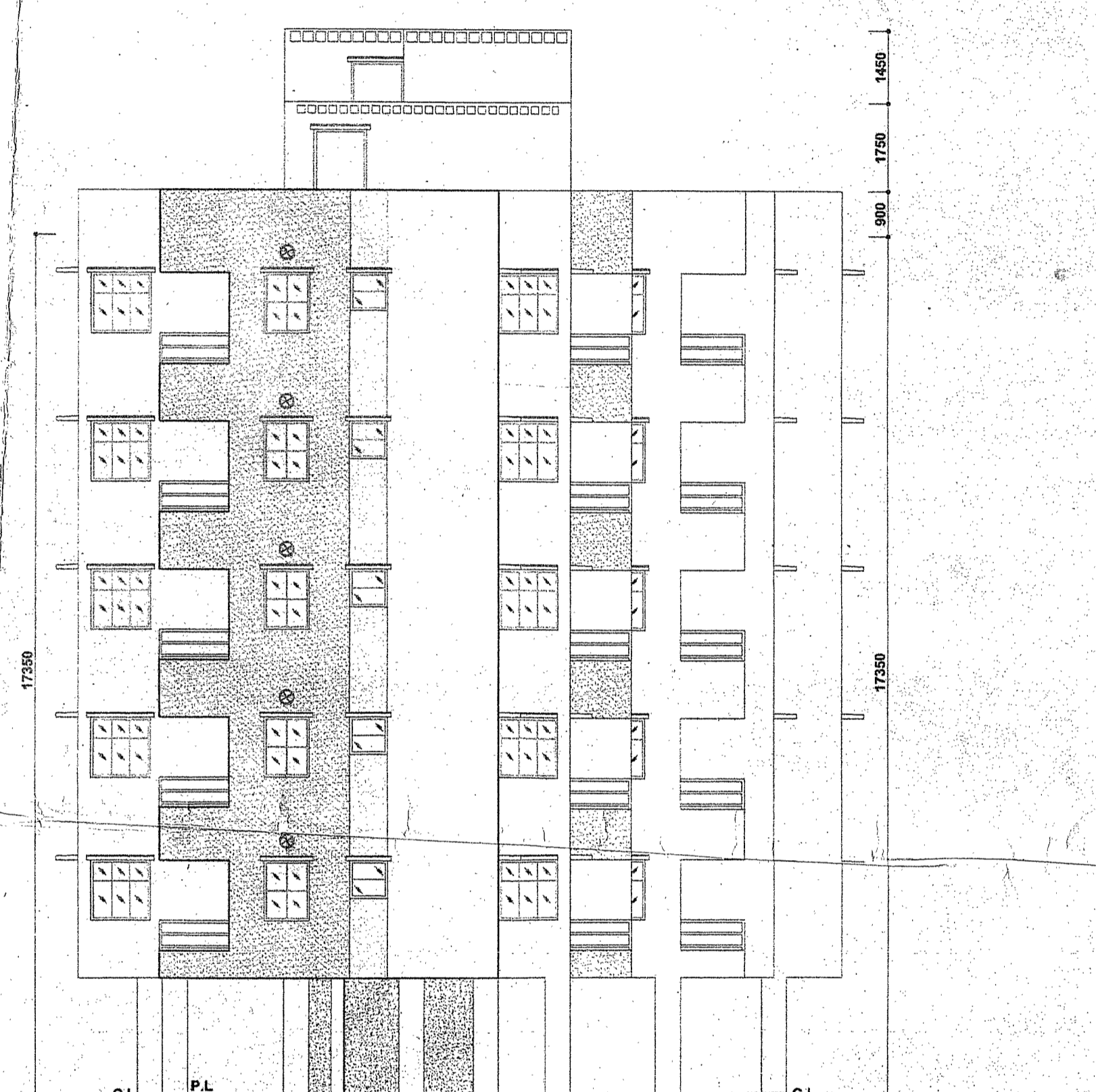
NORTH
SCALE : - 1:50, 1:100, 1:200, 1:400
DATE : 24.09.2015

PLAN FOR PROPOSED FIVE (G+4) & ONE EXTRA FLOOR OF SIX STORED RESIDENTIAL APARTMENT OF SMT. JYOTSNA GHATAK, W/O LAKKHINARAYAN GHATAK, OVER L.R PLOT NO- 6172, R.S. PLOT NO - 1195, PART SUB PLOT NO - A/2, OF MOUZA - FULJHORE, J.L. NO - 82, KHATIAN NO - 505, P.S. - FARIDPUR, DIST. - BURDWAN.

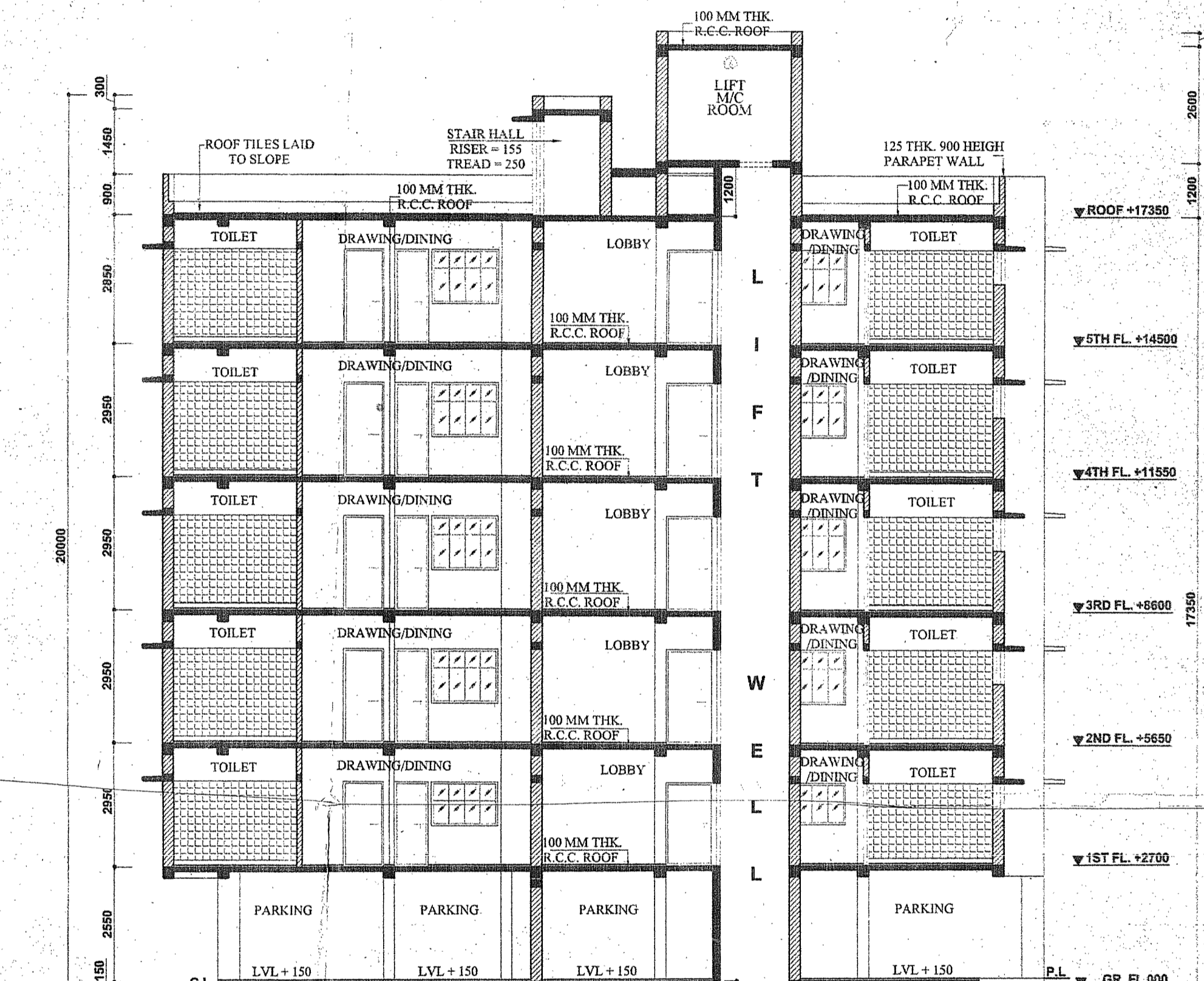
UNDER D.M.C.
* HOLDING NO - 60/N,
* CIRCLE / WARD NO. 22
* STREET NAME - SANCHITA, STEEL PARK, DGP-03
* ID NO - 0040737.



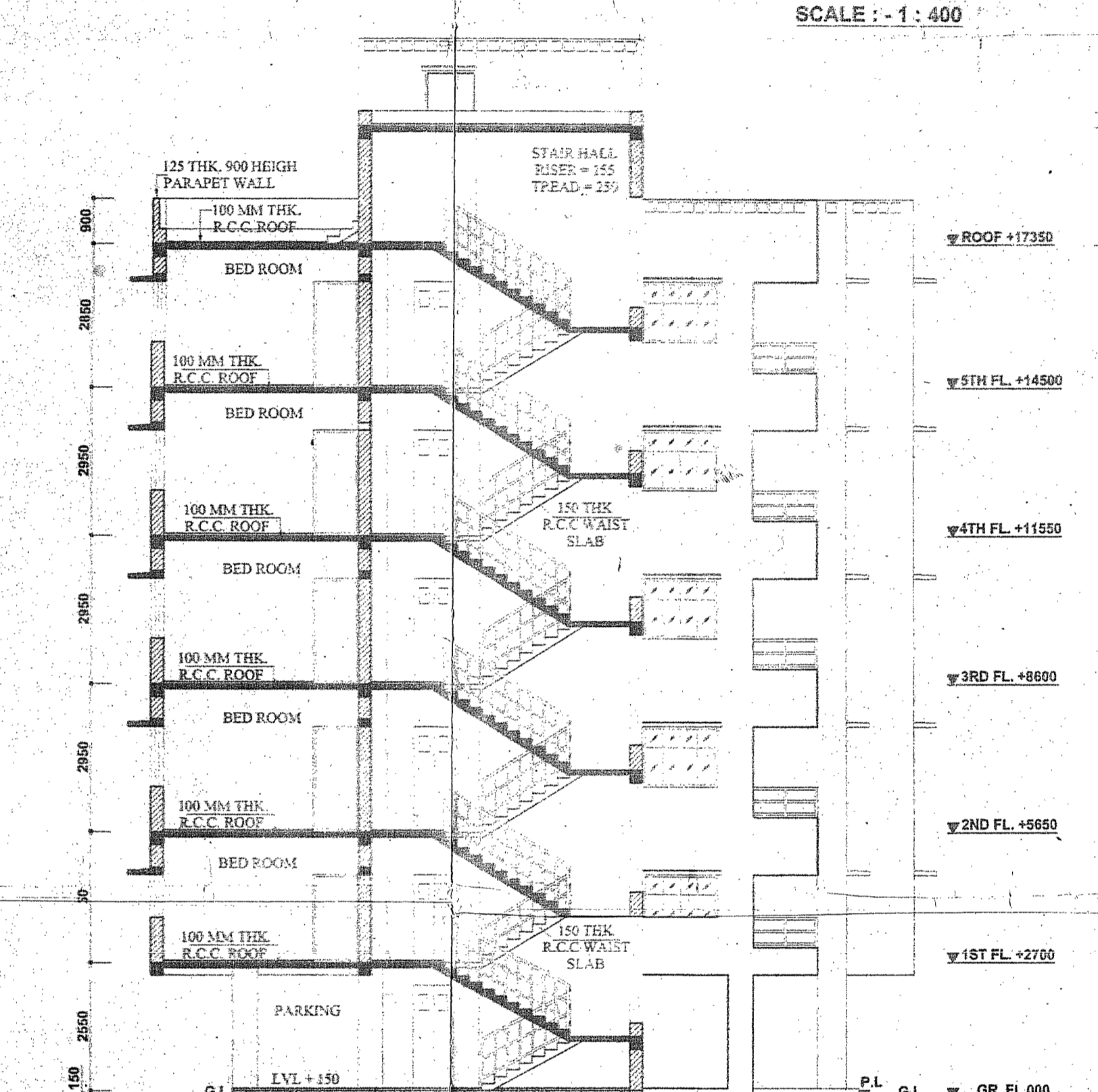
FRONT ELEVATION
SCALE : - 1 : 100



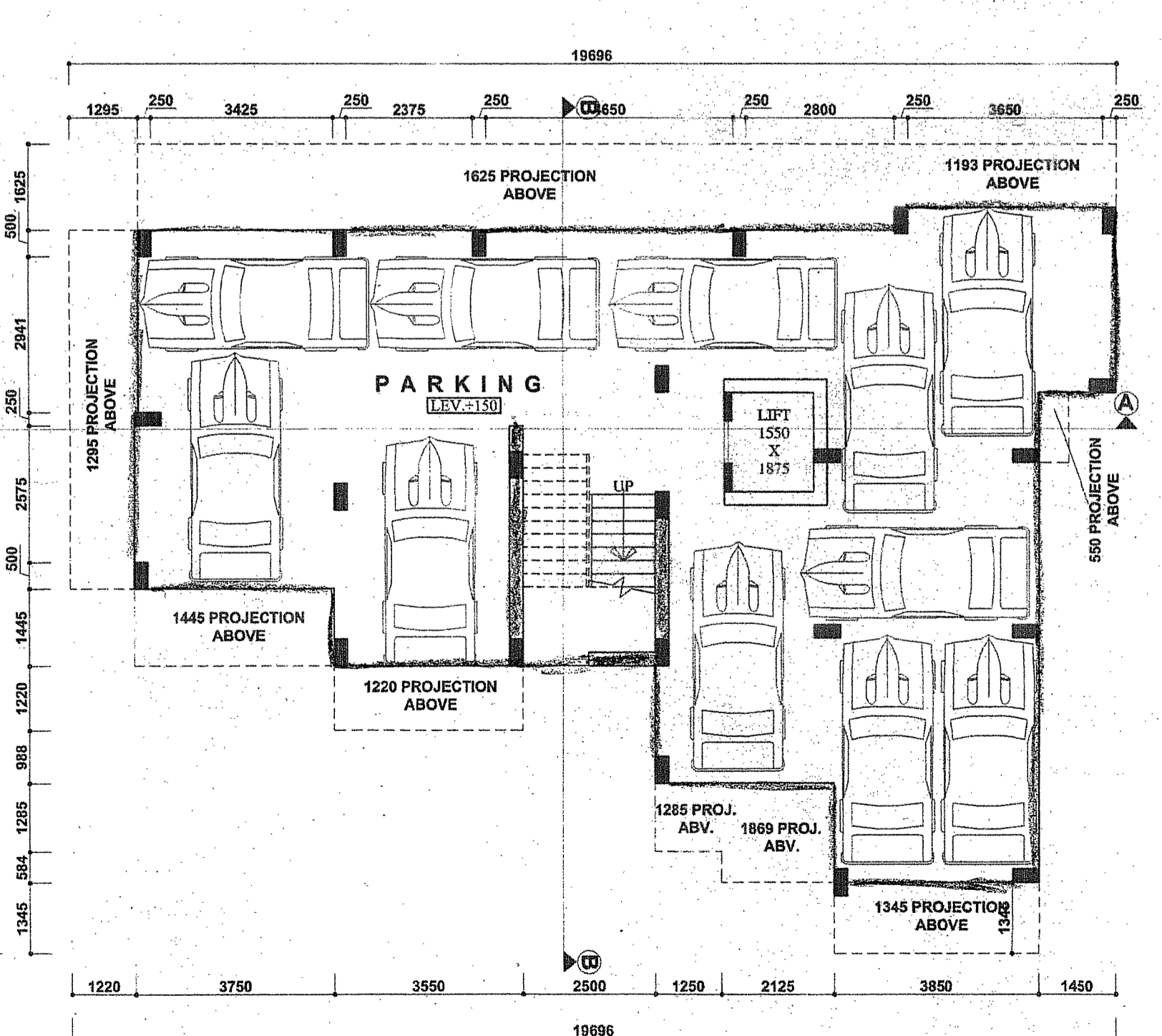
LEFT SIDE ELEVATION
SCALE : - 1 : 100



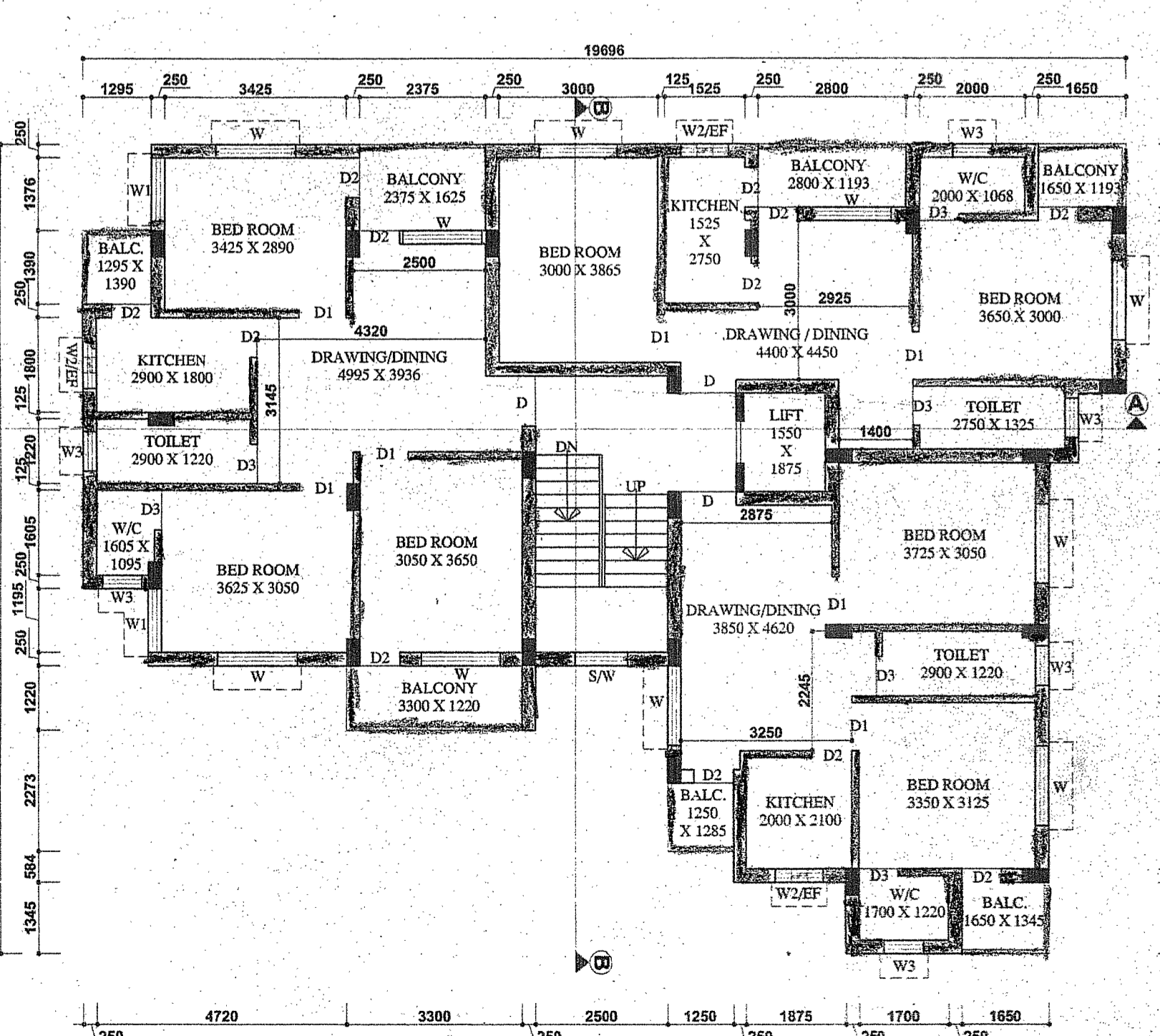
SECTION A-A
SCALE : - 1 : 100



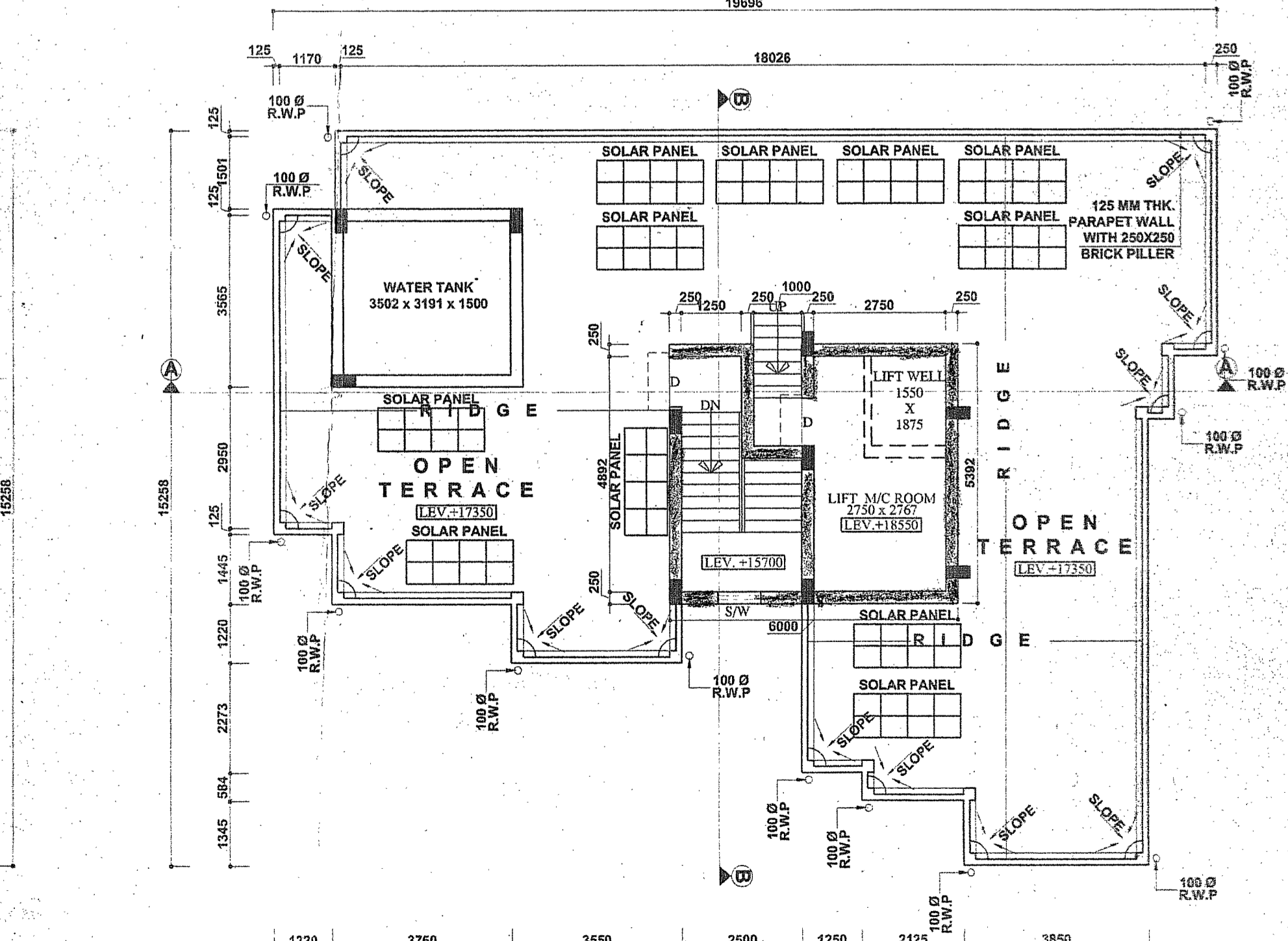
SECTION B-B
SCALE : - 1 : 100



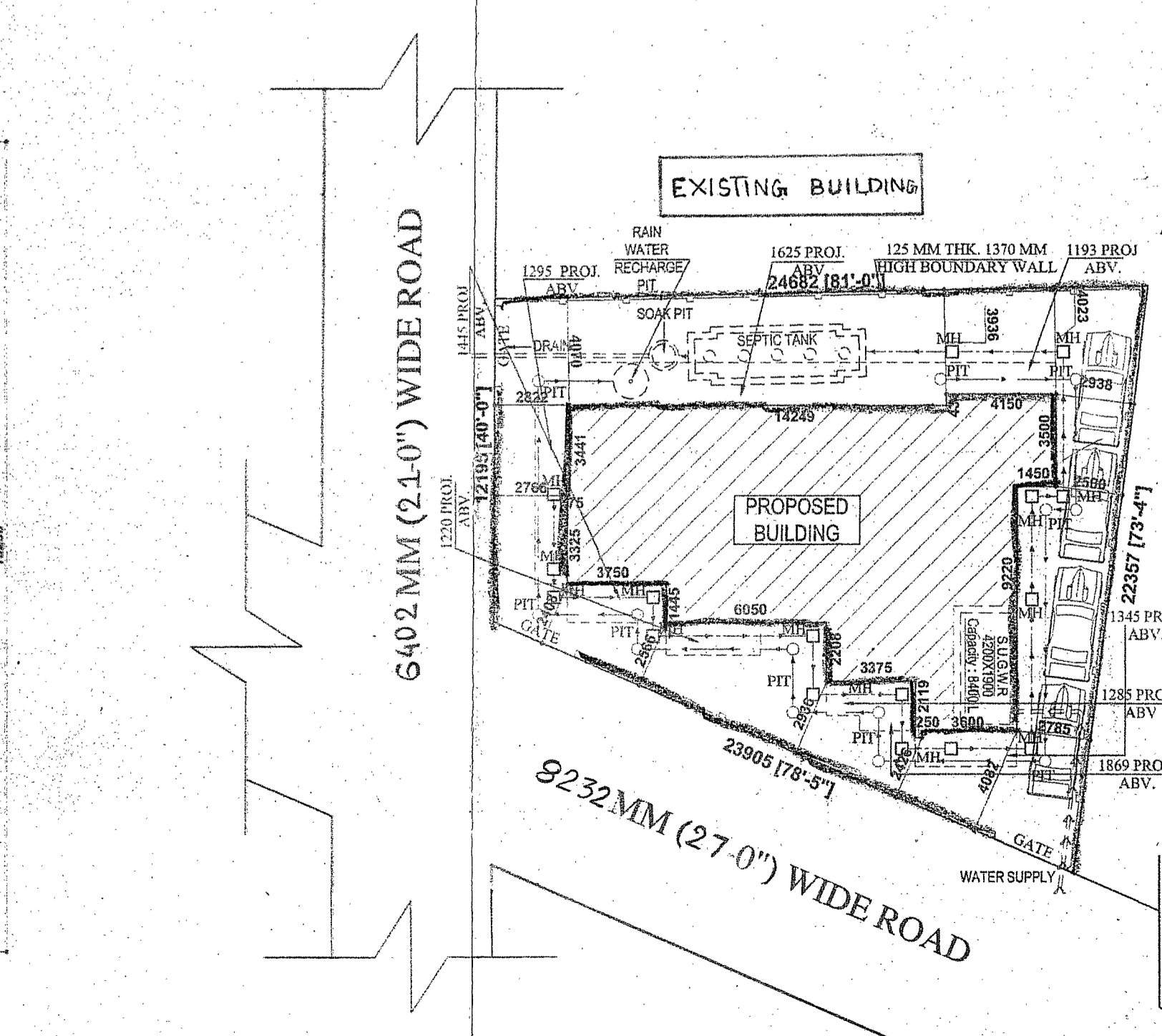
GROUND FLOOR PLAN
SCALE : - 1 : 100



TYPICAL FLOOR PLAN (1st TO 5th)
SCALE : - 1 : 100



ROOF PLAN
SCALE : - 1 : 100



SITE PLAN
SCALE : - 1 : 200

SIG. OF OWNERS
DATE: 17.01.2017

SIG. OF STRUCTURAL ENGINEER
DATE: 17.01.2017

SIG. OF ARCHITECT ENGINEER
DATE: 17.01.2017

AMRAN GHATAK ARCHITECT
LIC. NO. CH/2014/6730

JUI CHATTERJEE
LIC. NO. CH/2014/6730

DRG. NO. - 181/13/CC/AR-APT/01-17
SUBMISSION REVISION DATE SIGNATURE