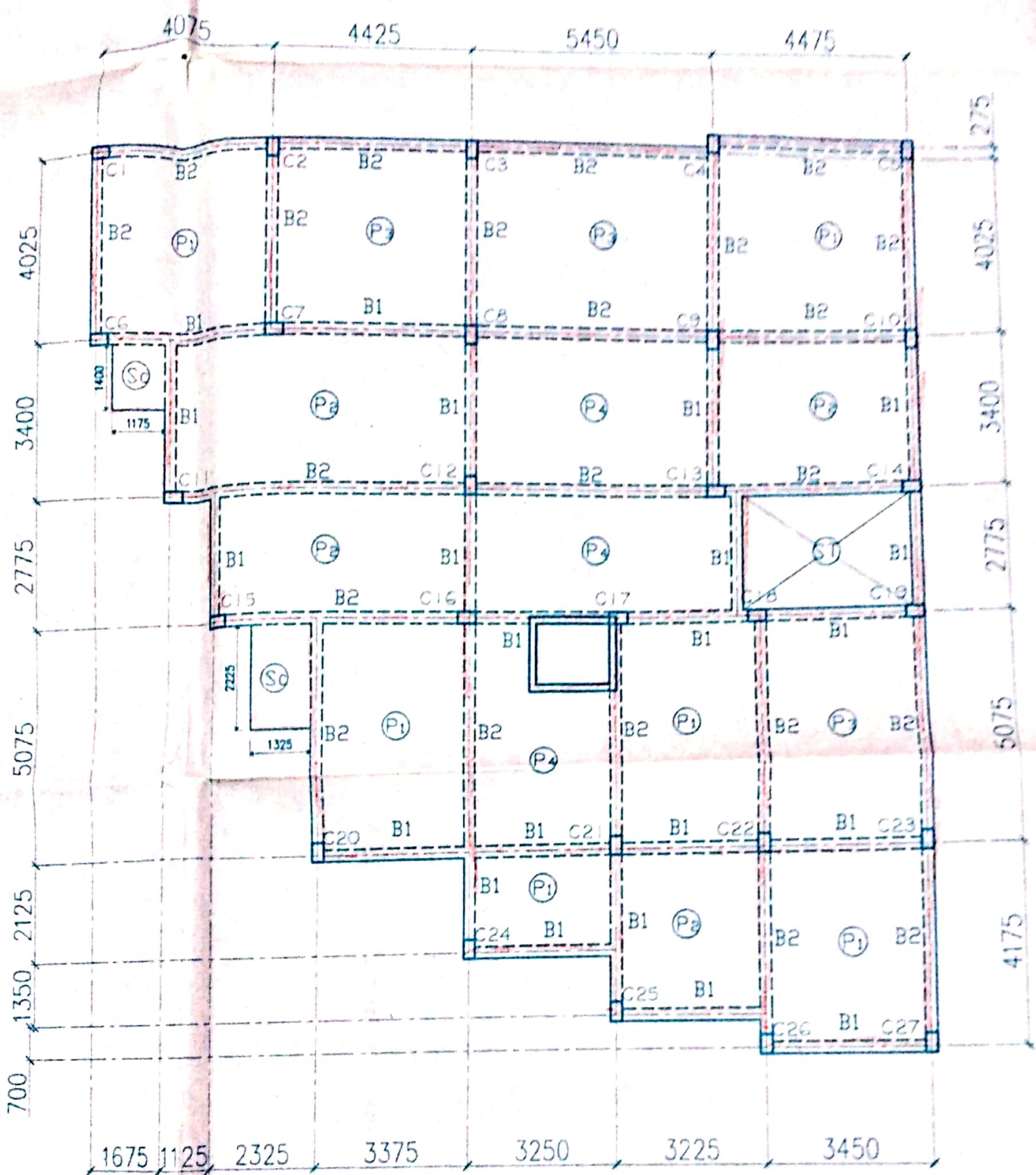


FOUNDATION LAY OUT PLAN

SCALE # 1/100

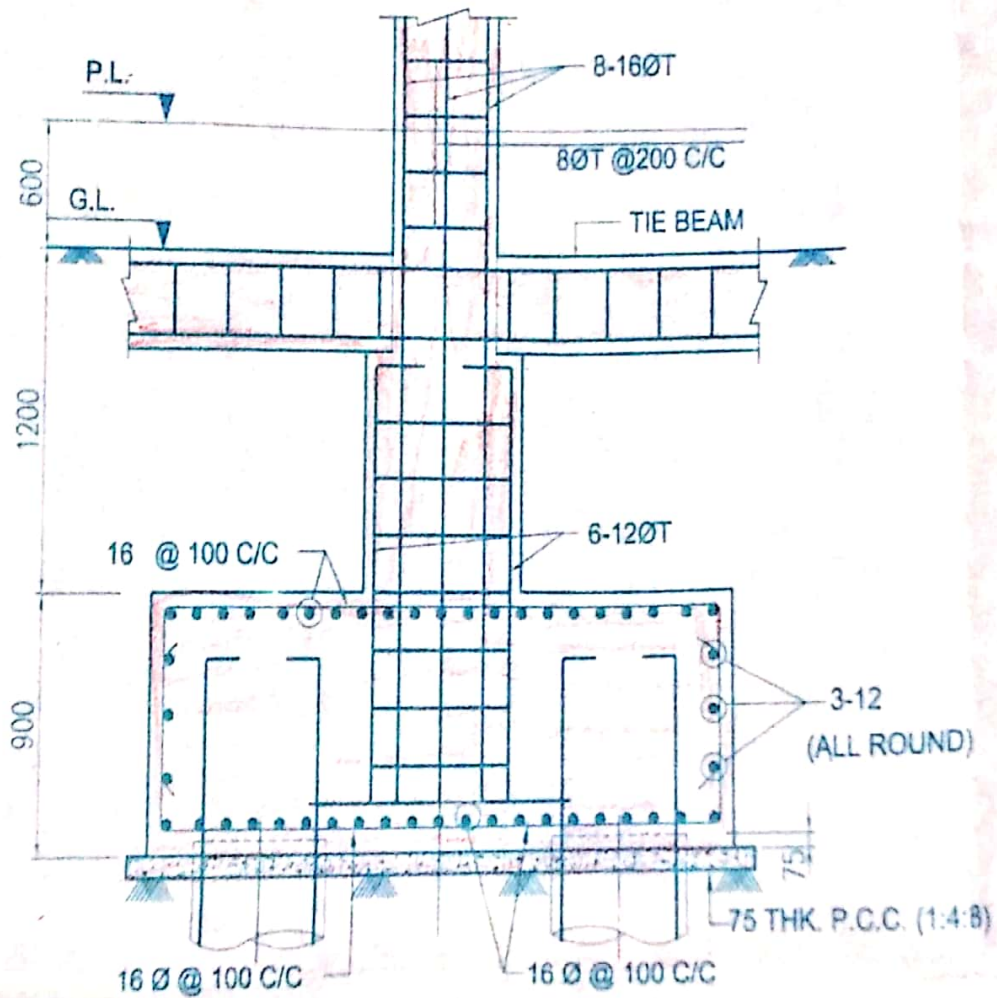


SLAB, BEAM, COLUMN LAY OUT PLAN

SCALE # 1/100

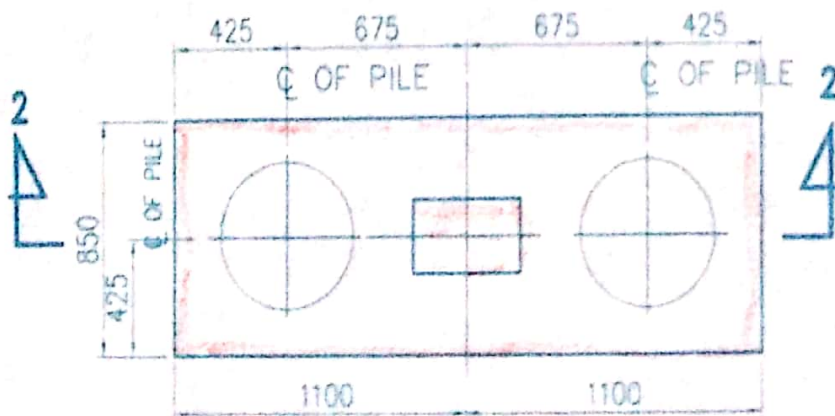
D

E



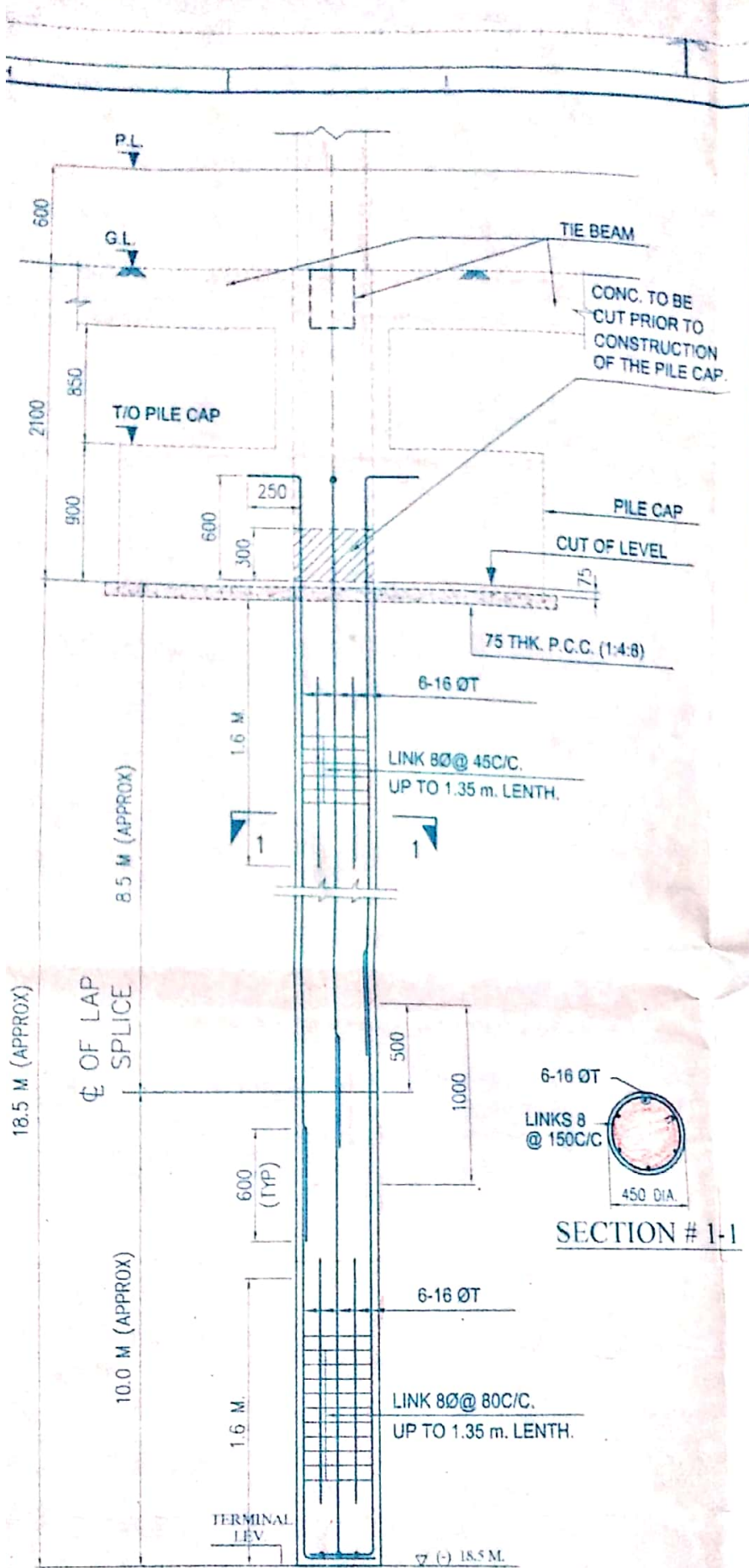
SECTION 2-2

SCALE # 1:25



**TYP. DET. OF 2P PILE CAP AND
R.C.C. COLUMN. (1 - TYPE)**

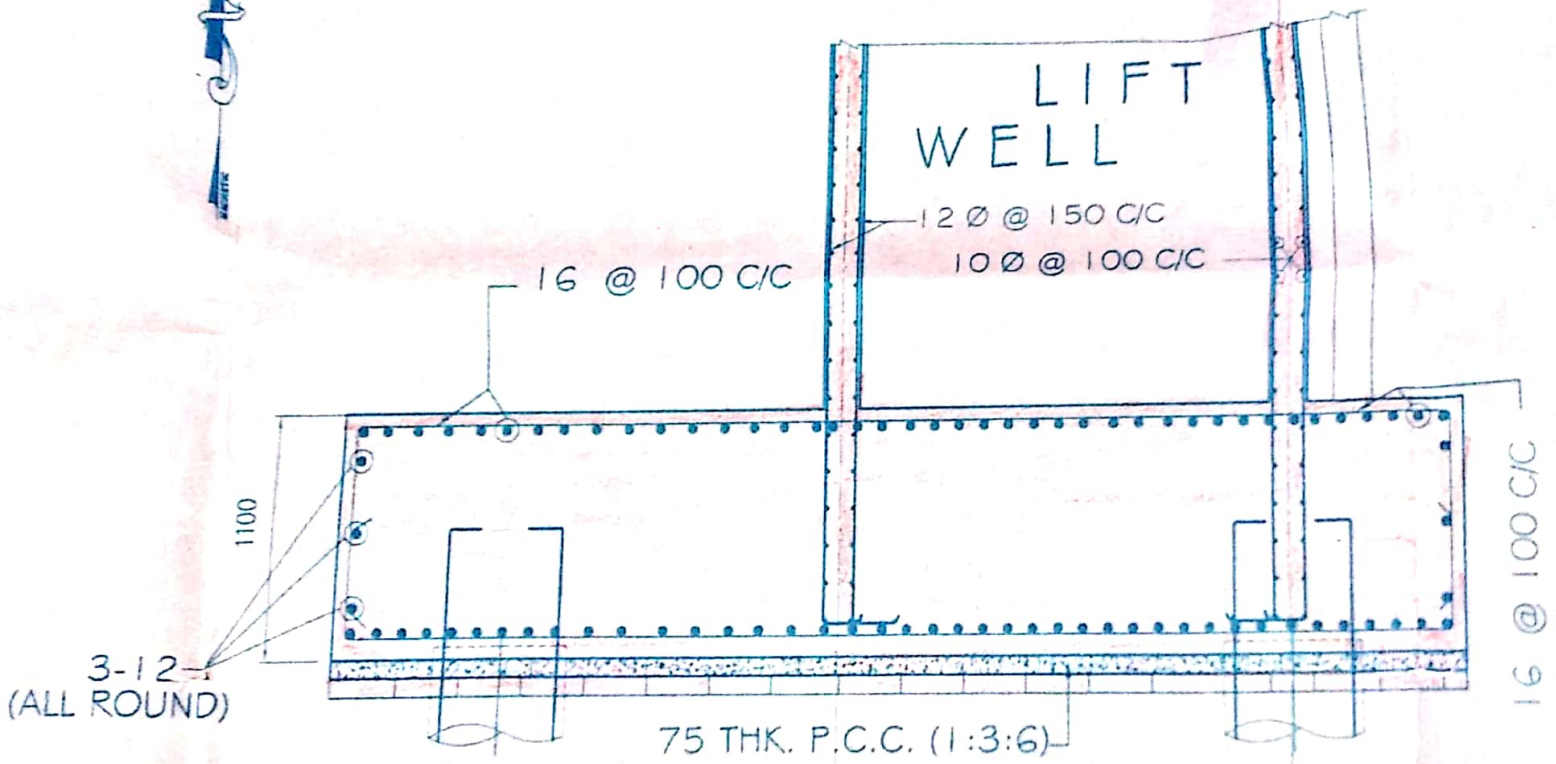
SCALE # 1:25



TYP. DET. OF PILE

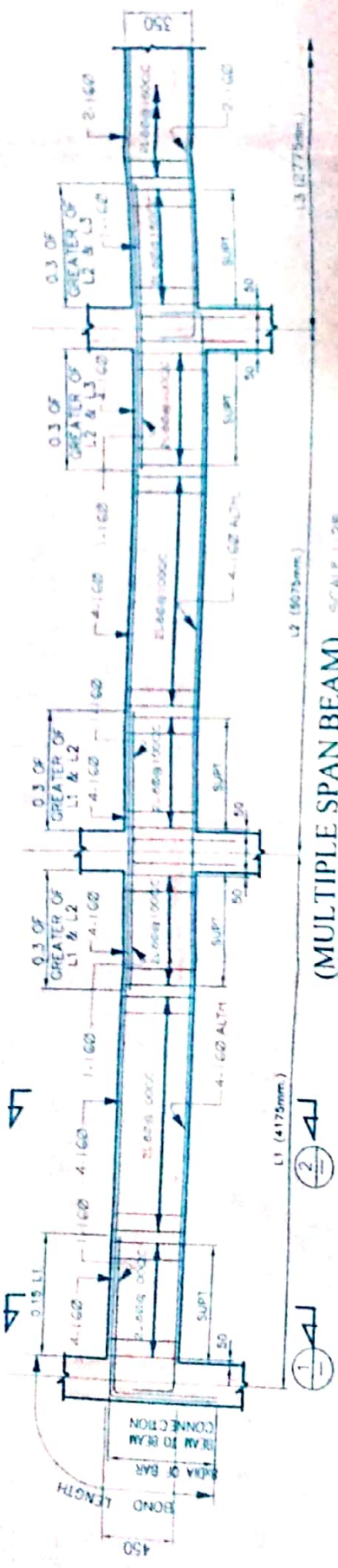
(ALL PILES SHALL BE 450 DIA. BORED CAST-IN-SITU
 18.5 M. LONG FROM CUT-OFF LEVEL - CAPACITY 25 t.)

SCALE # 1:25

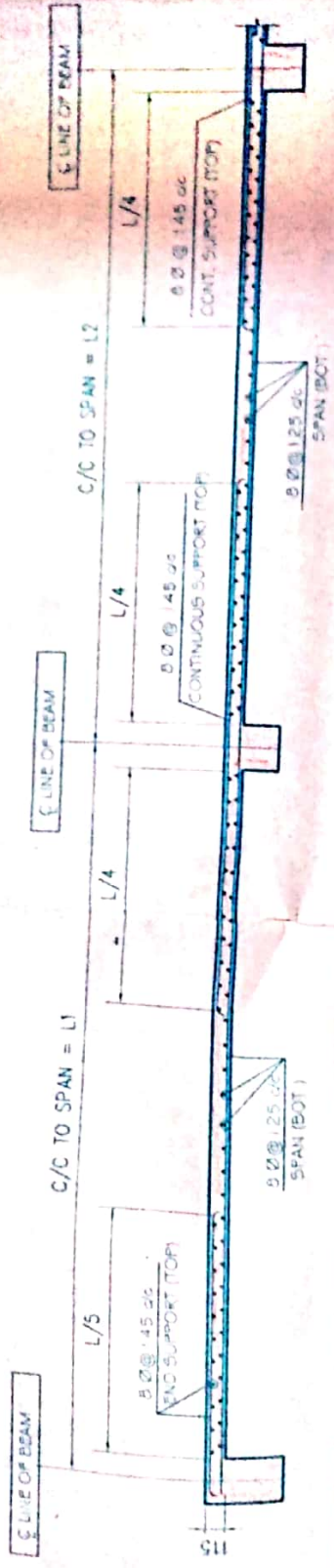


SECTION ON- L L

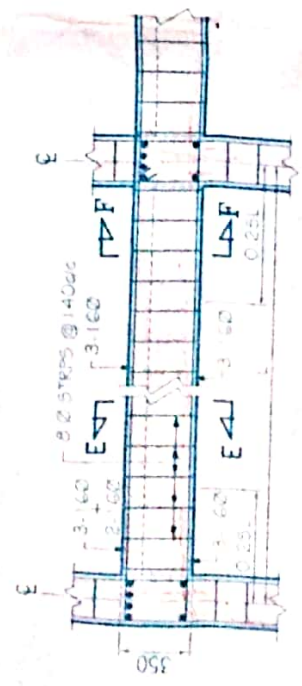
SCALE # 1:25



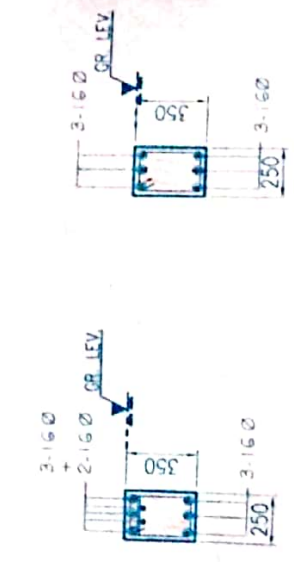
(MULTIPLE SPAN BEAM) SCALE 1:25
 TYPICAL DETAIL OF R.C.C. BEAMS (B2, B2 & B1)



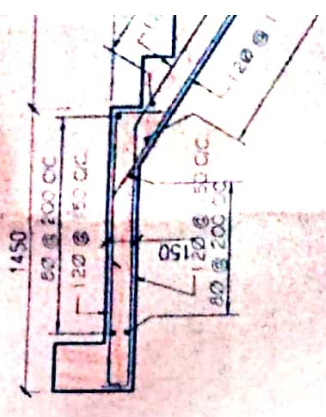
TYPICAL REINF. CURTAILMENT DET. OF SLABS
 SCALE # 1:25



DETAIL OF TIE BEAM
 SCALE 1:25



SECTION F-F
 SCALE 1:25



SECTION E-E
 SCALE 1:25

SCHEDULE OF R.C.C. COLUMN					
NO.	TYPE	STOREY	COL. SIZE	MAIN BAR	TIE BAR
1	ALL INTERNAL COLUMNS	GROUND TO 4TH F.	250 x 250	10-12RT	4RT @ 200 CC
2	ALL EXTERNAL COLUMNS	GROUND TO 4TH F.	250 x 300	8-12RT	4RT @ 200 CC

PILE CAP SCHEDULE										
FOORING	NO.	PILE CAP SIZE			SPINDAL REINFT	NO. OF PILES	COLUMN MARKER	REINFORCEMENT ALONG		
		L (MM)	B (MM)	D (MM)				LONG DIRECTION	SHORT DIRECTION	
F1	1	2300	650	300	45/30/30	6-12RT	2	C-10, C-12, C-16, C-18, C-20	14 RT @ 100 CC 16 RT @ 100 CC	16 RT @ 100 CC
F2	2	2000	400	300	45/30/30	4-12RT	2	C-10, C-12, C-16, C-18	8 RT @ 100 CC	16 RT @ 100 CC

PILE SCHEDULE:					
NO. OF PILE	SIZE OF PILE	MAX. REINFORCEMENT	LATERAL REINFORCEMENT	SPINDAL REINFT NEAR PILE HEAD	PILE REINFT NEAR PILE END
16-8	450	6-12RT	20RT @ 75mm OC for a length of 1.10 m	12RT @ 45mm OC for a length of 33 m	16RT @ 20mm OC for a length of 1.85 m

SCHEDULE OF R.C.C. BEAM							
BEAM NO.	BEAM SIZE	REIN. (SUPP)		REIN. (SPAN)		STIRRUP	
		TOP	BOT	TOP	BOT	UPPT	SPAN
B1	230x450	3-12RT	4-12RT	4-12RT	3-12RT	2-8	200
B2	230x450	3-12RT	4-12RT	4-12RT	3-12RT	2-8	200
T.T. BEAM	230x450	3-12RT	4-12RT	3-12RT	3-12RT	2-8	200

SCHEDULE OF R.C.C. SLAB						
NO.	SLAB TH	AT LONGER SPAN		AT SHORTER SPAN		REMARKS
		AT SUPPT	AT MID SPAN	AT SUPPT	AT MID SPAN	
A	150	5-12 @ 45 CC	4-12 @ 45 CC	5-12 @ 125 CC	5-12 @ 125 CC	BOTH WAY
B	150	4-12 @ 50 CC	4-12 @ 50 CC	5-12 @ 200 CC	5-12 @ 200 CC	SINGLE WAY

Mark for Slab
Topaki Slab
সেইসেইসেইসেই

SIGNATURE OF OWNER'S.

I Certify that the structure of proposed G+4 storied part residential and part commercial building which has been designed by me to be safe, in all respect including consideration of bearing capacity and settlement of soil on the basis of representation of Geotechnical Engineer and also considering all possible seismic load & wind load and moments generated by the proposed structure as per S.P. 11, and 11.8.3. of India. And those provision shall be adhered to during construction.

[Signature]
BAISHAKHI MUKHERJEE
Structural Engineer (B.E. - CIVIL - G.U.)
Registration No. 12 (Class - 1) HMC
Member of Institution of Engineers
Clearance Engineer Reg. No. 281064159
Phn. No. 982187256 (M)

SIGNATURE OF STRUCTURAL ENGINEER

I Certify that the site condition including the status of Alluvial Soil conform with plan and that is a buildable site and not a lean or filled up land. The plot is bounded by boundary wall. The width of the Road is 12.152 m.

[Signature]
BAJYASACHIN PATRA
E.S.E. (1972)
CLASS 4, 1975 NO-15
DOMJUR - HOWRAH
980552972 (M)

SIGNATURE OF L.B.S.

SHEET TITLE
LAY OUT PLAN, BEAM GRID PLAN, DET. OF SLAB, BEAM, LIFT WELL, TIE BEAM, DET. PILE CAP & PILE ETC.

PROPOSED PLAN OF G + 4 STORIED PART RESIDENTIAL AND PART COMMERCIAL BUILDING AT RS. DAG NO.-1528, LR. DAG NO - 1158, LR. KH NO - 3816, 1796 & 8350, IN MOUZA DOMJUR, J.L. NO - 33, PS - DOMJUR, DIST - HOWRAH.

NO. 15-502	SCALE: 1:100	DWG. NO. AT 04/10/20
------------	--------------	----------------------

ROOF PLAN
SCALE # 1:100

13716 (45'-0")

8229 (27'-0")

EXIST. DRAIN

EXIST. DRAIN

(H)

PANCHAYET ROAD

8330 (27'-4")

1754

9726

1387

1405

1619

1405

2225

1322

1325

1221

1217

1223

1820

3244

5056

1200

1200

1200

1200

1200

1200

1200

1200

1200

1200

1200

1200

1200

SEPTIC TANK

SOAK PIT

SLOPE 1:17

SLOPE 1:17

CAR PARKING SPACE

SECURITY RM
2700 x 2400

ELECT RM
3000 x 2400

COMMON SPACE
5725 x 2525

LIFT
1650 x 1325

SHOP
6800 x 2400

SHOP
3250 x 5200

SHOP
3000 x 5725

SHOP
3225 x 6150

SHOP
3200 x 6850

12192 (40'-0" AVG.)
WIDE HOWRAH AMTA ROAD

3048 (10'-0")
AVG. WIDE GRAM

EXIST. BOUNDARY WALL

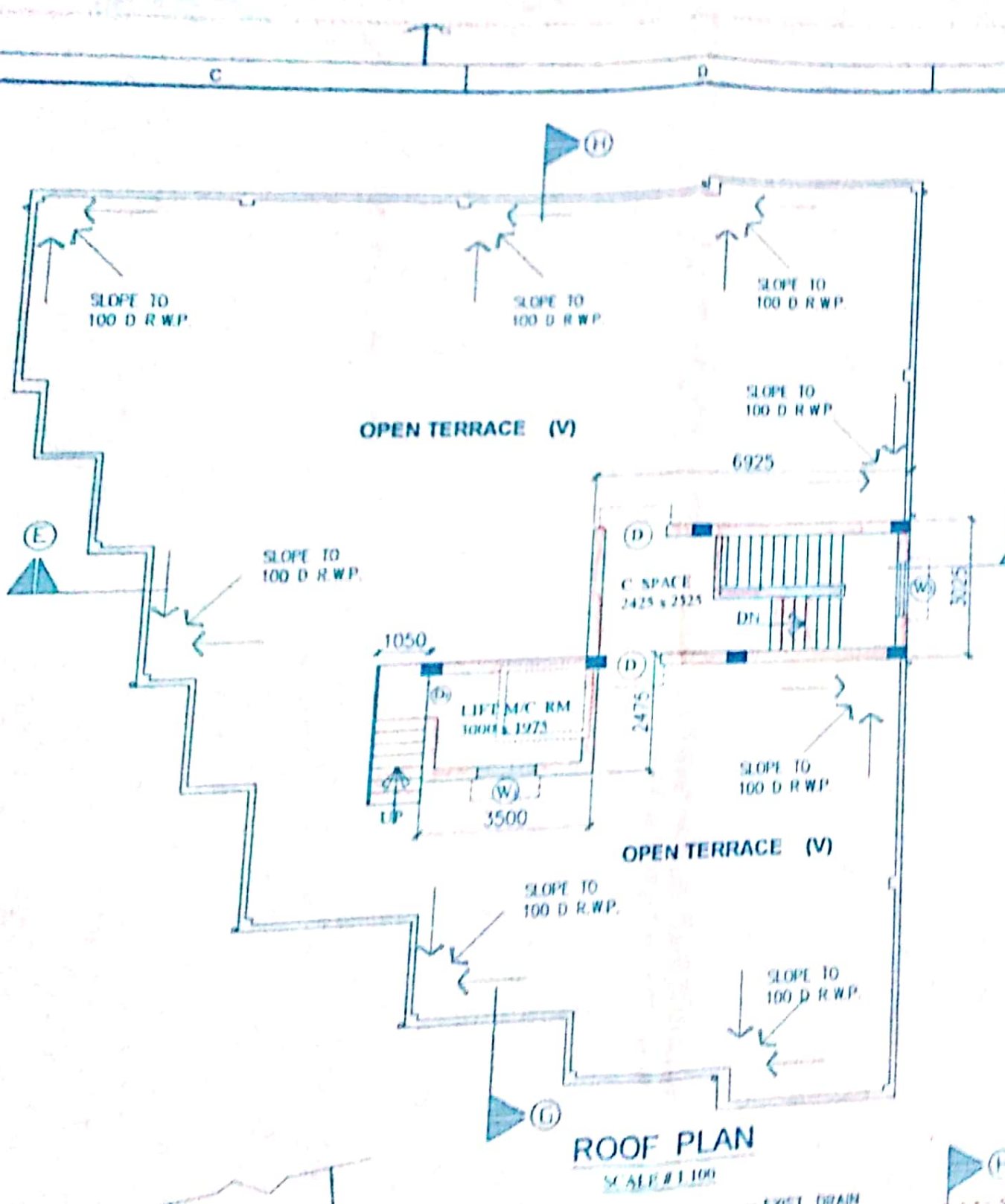
23445 (76'-11")

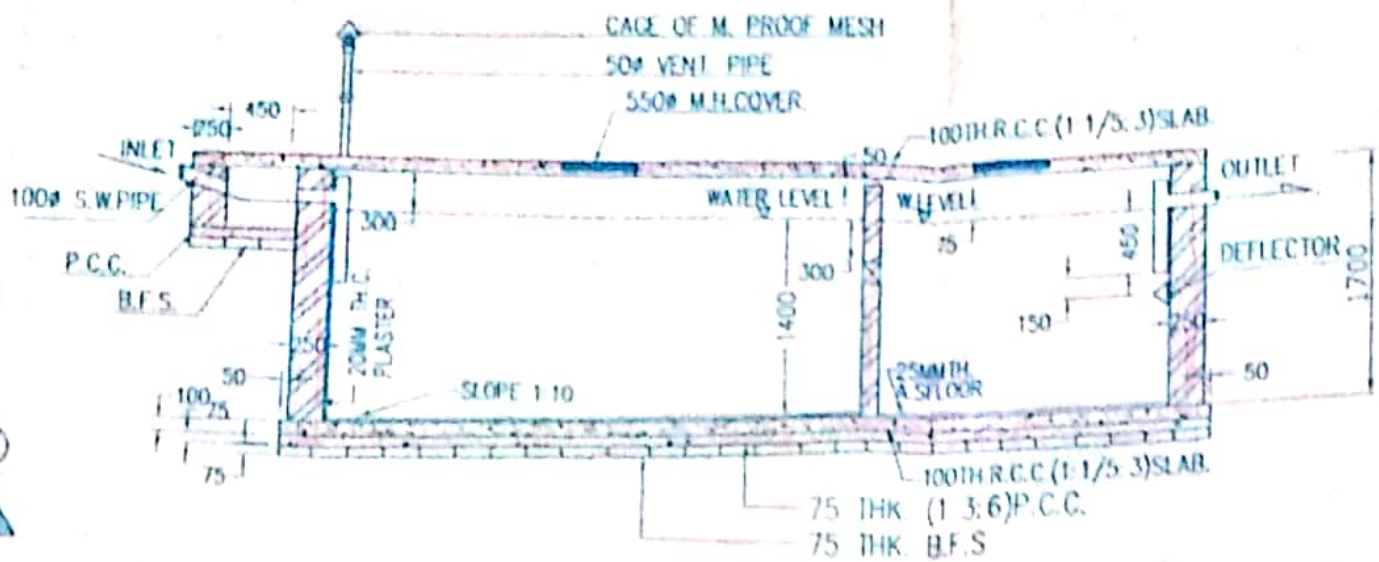
ELECT. POST

GROUND FLOOR PLAN

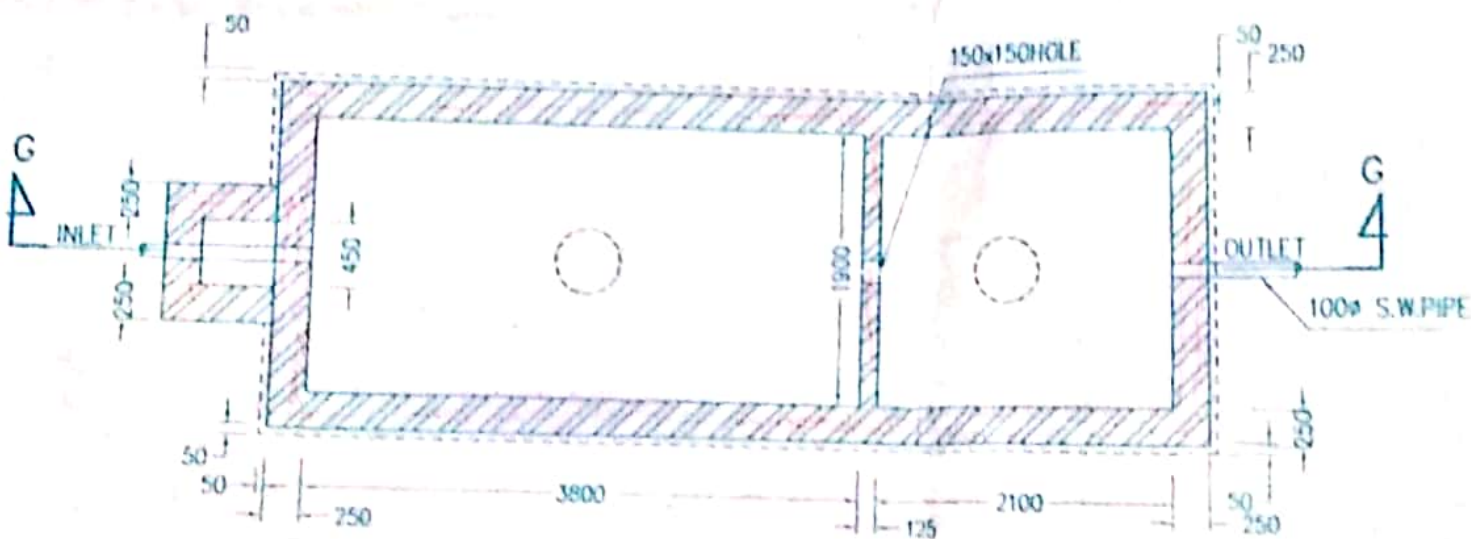
SCALE # 1:100

C D E





SECTION G - G



DETAIL OF SEPTIC TANK (100 USERS)

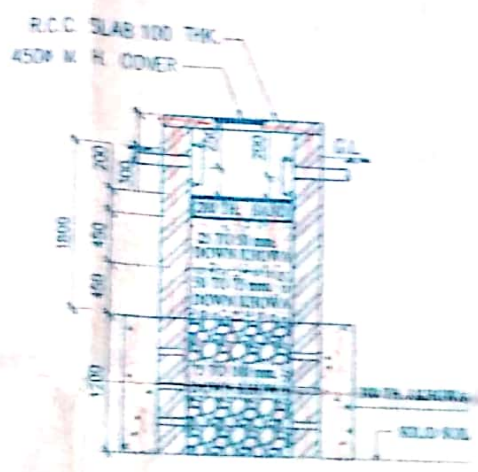
SCALE # 1:50

8229 (27'-0")

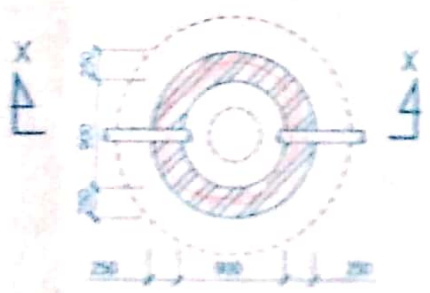
N



KEY PLAN
SCALE 1:100

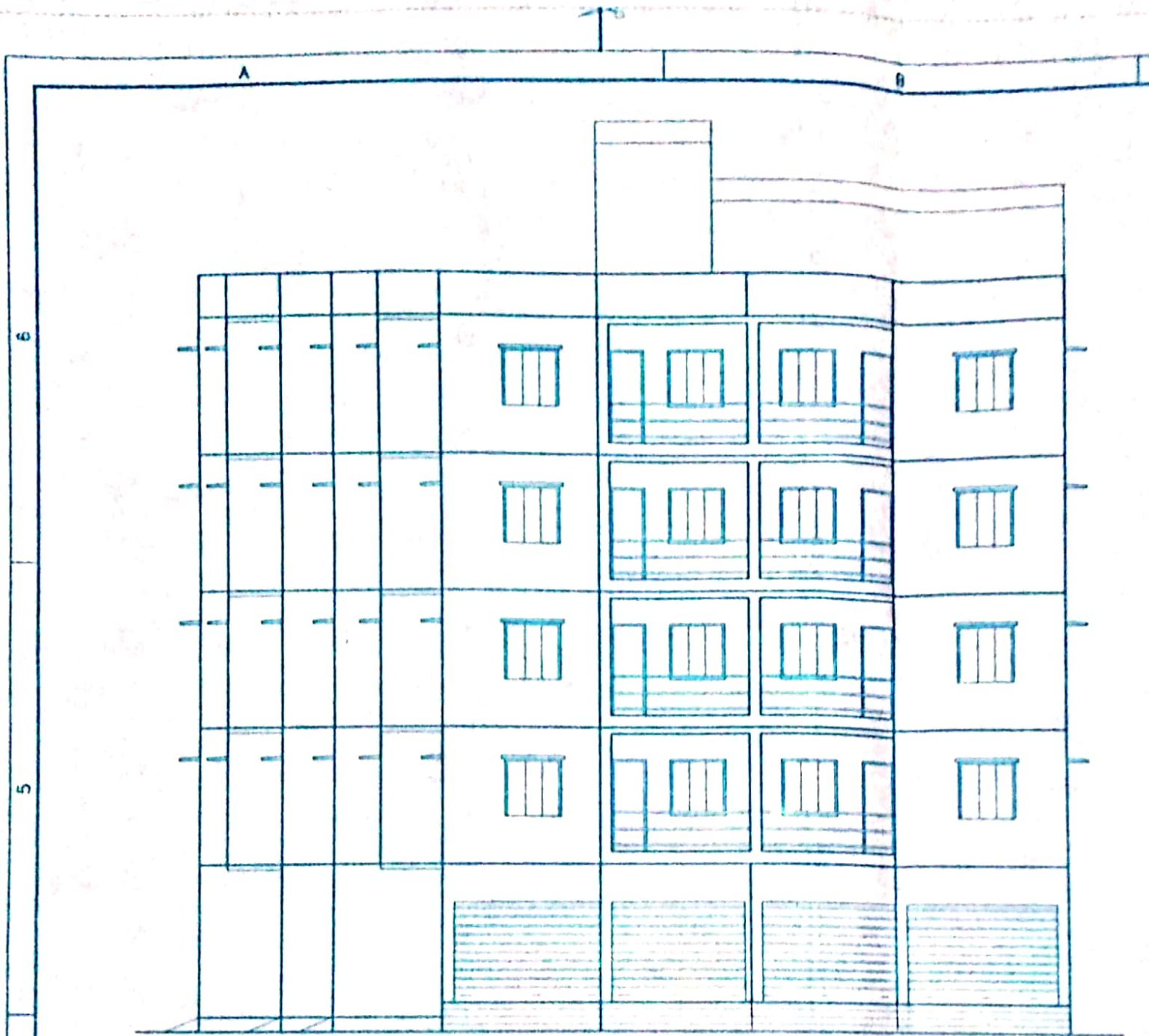


SECTION X-X



DET. OF SOAK PIT
SCALE 1:50

F



FRONT ELEVATION

SCALE # 1:100

SPECIFICATION

1. 230 MM TH 1ST CLASS CEMENT BRICK WORK IN SUPER STRUCTURE (1.6)
2. 125 MM TH 1ST CLASS CEMENT BRICK WORK IN PARTITION WALLS (4)
3. LEAN CEMENT (1:2) WITH 19 MM DOWN GRADED STONCHIPS
4. R.C.C. WORK IN LINTIL, CHAJJA BEAM, SLAB ETC. FOR (4) 3 D) M-15
5. CEMENT SAND PLASTER
 - a. 19 MM TH ON INSIDE AND OUTSIDE WALL (1.6)
 - b. 6 MM TH ON CHAJJA CEILING (1.4)
6. 25 MM I.P.S FLOORING WITH NEAT CEMENT FINISH AT TOP
7. MATERIALS
 - a. ORDINARY PORTLAND CEMENT
 - b. MEDIUM COURSE SAND
 - c. 19 MM DOWN GRADED STONCHIPS

SCHEDULE OF DOOR AND WINDOW

DOORS			WINDOWS			
MARK	FRAME	SIZE	MARK	FRAME	SIZE	REMARK
D	100 X 75	1050 X 2100	W	100 X 75	1500 X 1200	GLAZED
D1	100 X 75	950 X 2100	W1	100 X 75	1200 X 1200	GLAZED
D2	100 X 75	900 X 2100	W2	100 X 75	900 X 1200	GLAZED
D3	100 X 75	750 X 2100	W3	100 X 75	600 X 600	GLAZED
C.G.	1000 X 2100					

AREA STATEMENT

1. AREA OF LAND (AS PER DEED):	12.875 DEC.	= 521.015 SQM.
2. AREA OF LAND (AS PER SITE):	11.875 DEC.	= 480.548 SQM.
3. PERMISSIBLE COVERED AREA :		320.385 SQM.
4. PERMISSIBLE F.A.R. :		4.0
5. PERMISSIBLE OPEN AREA :		160.183 SQM.
6. PERMISSIBLE TOTAL FLOOR AREA :		1922.192 SQM.
7. PROPOSED GROUND COVERED AREA :		289.913 SQM.
8. PROPOSED FIRST FLOOR AREA :		289.913 SQM.
9. PROPOSED 2ND FLOOR AREA :		289.913 SQM.
10. PROPOSED 3RD FLOOR AREA :		289.913 SQM.
11. PROPOSED 4TH FLOOR AREA :		289.913 SQM.
12. PROP. STAIR & LIFT MACHINE ROOM AREA :		29.610 SQM.
13. PROPOSED TOTAL FLOOR AREA :		1479.175 SQM.
14. PROPOSED F. A. R. (Excluding stair&L/M.room):		3.016
15. WIDTH OF THE ROAD :		12.192 M.

*Mark in plan
Tape & show
Signature of owner*

SIGNATURE OF OWNER'S.

I Certified that the site condition including the Width of Abutting Road confirm with plan and that is a Buildable Site and not a tank or filled up tank. The plot is Bounded by Boundary wall. The width of the Road is 12.192m.

Signature

SADYASACHI PATRA
L.B.S. OF H.Z.P.
CLASS-I, REG. NO-19
DOMJUR - HOWRAH
8830532072 (M)

SIGNATURE OF L.B.S.

SHEET TITLE

SEPTIC TANK, SOAKPIT. EXIST. FL. PLAN, GR. FL. PLAN, ROOF PLAN, ELEVATION ETC.

PROPOSED PLAN OF G + 4 STORIED PART RESIDENTIAL AND PART COMMERCIAL BUILDING AT RS. DAG. NO.-1528, LR. DAG. NO. - 1198, LR. KH. NO.- 3816, 1796 & 8350, IN MOUZA- DOMJUR, J.L. NO.- 33, PS.- DOMJUR, DIST.- HOWRAH.

SHEET NO.-01/01

SCALE:- 1:100, 1:50.

DWG. NO. AC/ 84/ 16 A- 01

Validity of the Sanctioned Plan For Five Years
Since 27-7-16
Any Deviation means

Demolish
[Signature]
District Engineer / Asstt. Engineer
HOWRAH ZILLA PARISHAD
27-7-16

memo no / 113 / 092 / HZP / EP /
27 / 7 / 16 /
Party copy .

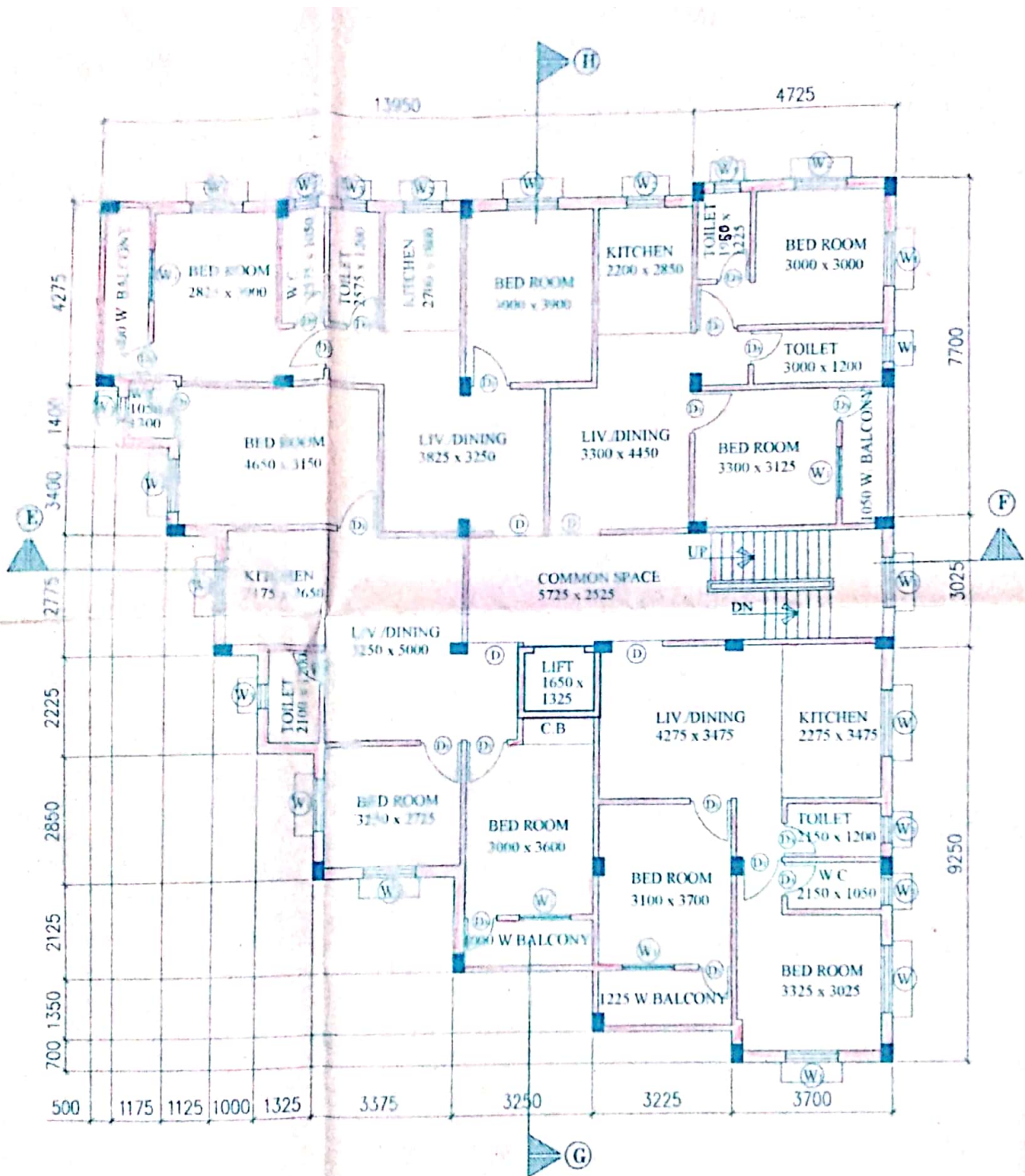
Professionally Sanctioned the Drafting
Part of this plan is commercial
this is submitted by the owner.
On 27-7-16. *Menturam Show & ors*
Subject to the following conditions :-

- After Conversion of Non-Bastu Land in to Bastu Land the Plan will be effective and treated as a Sanctioned Building Plan.
- Demolish the Old Structure Prior to the Construction of New Structure.

[Signature]
Tanujji
District Engineer / Asstt. Engineer
Howrah Zilla Parishad / Howrah Zilla Parishad
27-7-16

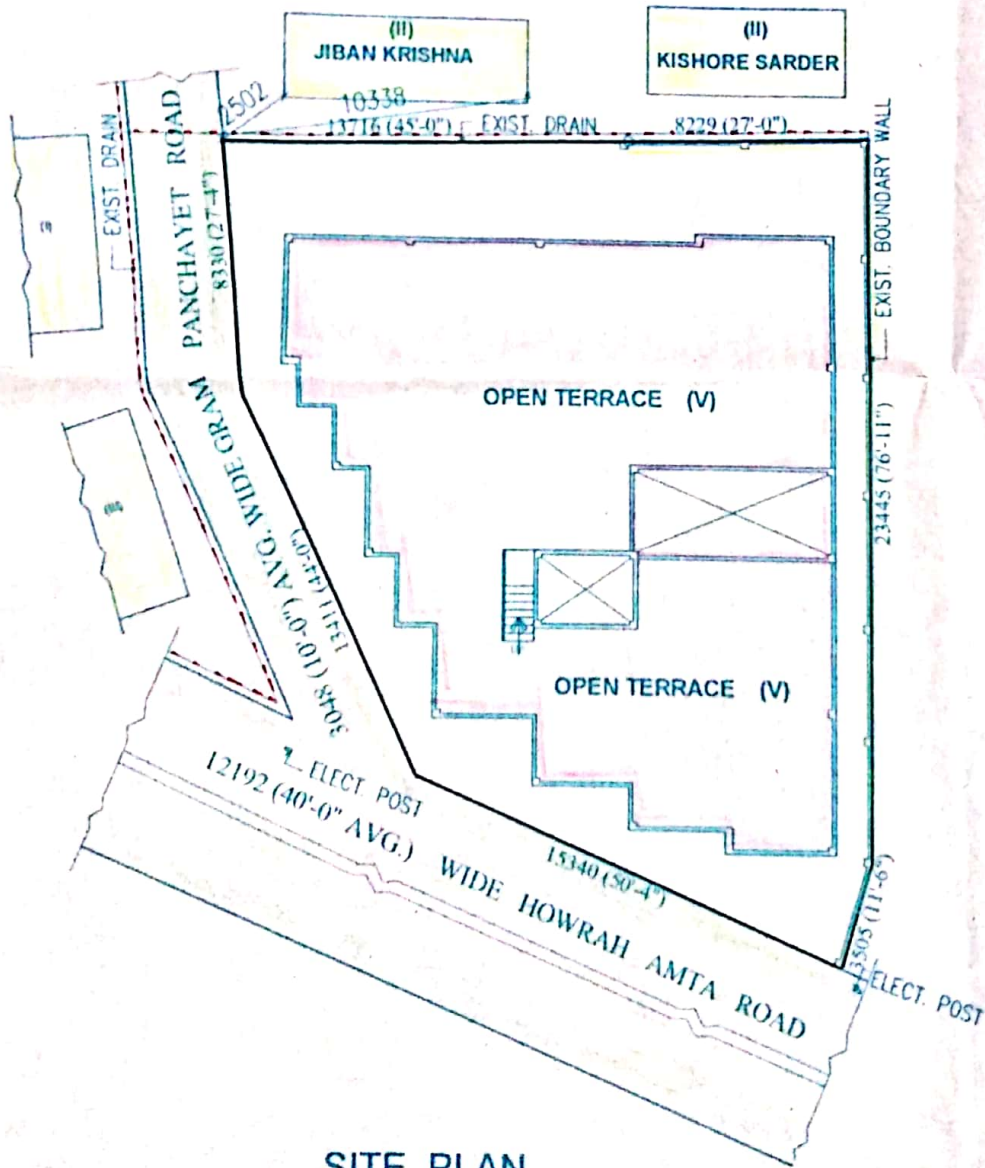
RECOMMENDATION
All Foundation Should be Provided as per Bearing Capacity of 'SOIL'.
The Safety of Structure Should be Checked as per I.S. Code :
The Construction Should be Carried under the Supervision of PARISHAD's Registered *[Signature]*
District Engineer / Asstt. Engineer
Howrah Zilla Parishad / Howrah Zilla Parishad
27-7-16





TYPICAL FLOOR PLAN = (1ST, 2ND, 3RD & 4TH)

SCALE # 1:100



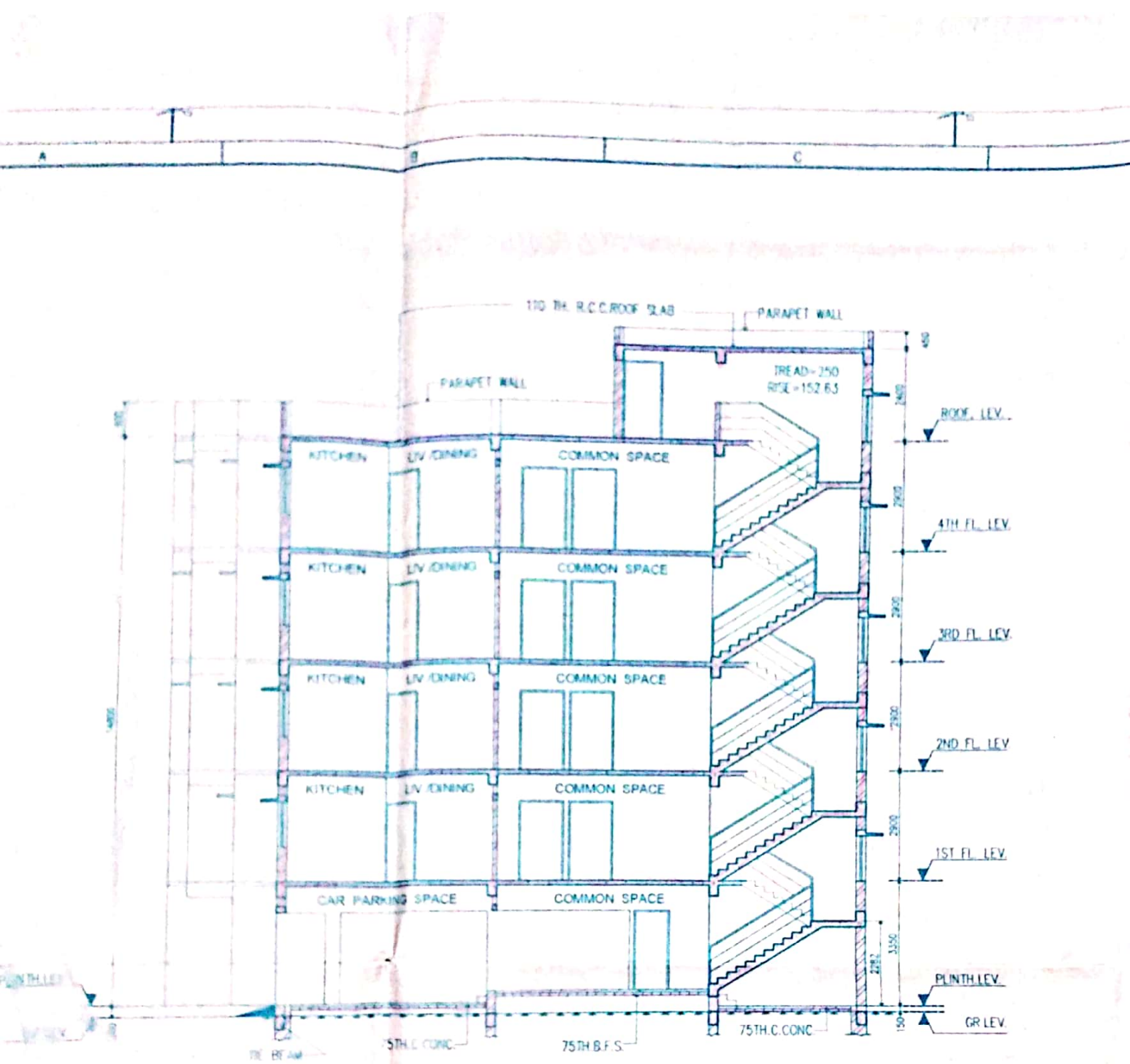
SITE PLAN

SCALE # 1 200

D

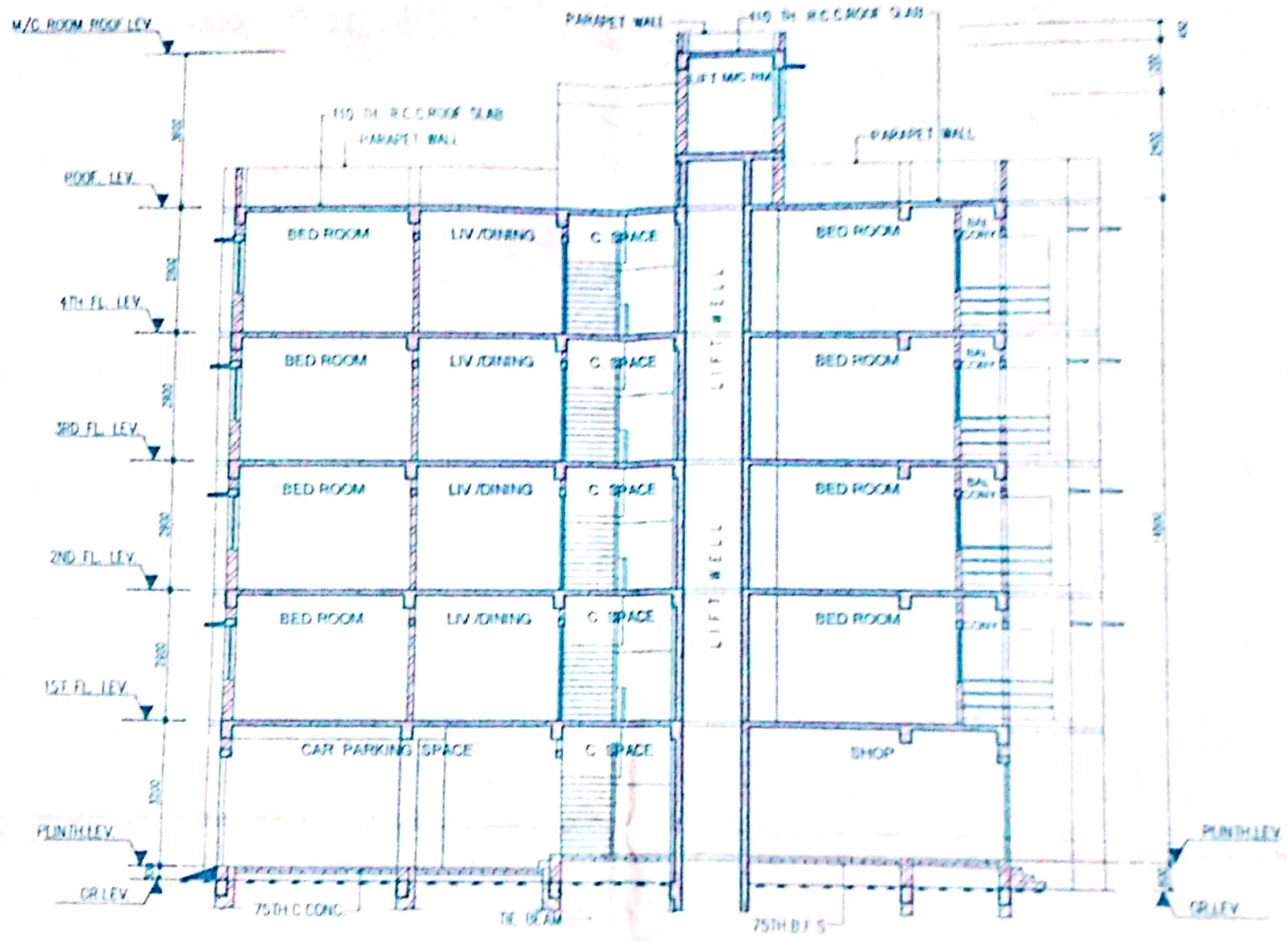
E

F



SECTION # E-F

SCALE # 1:100



SECTION # G - H

SCALE: R 1/100

Mouza Am Showd.

Tapati Shau

ସଂପୂର୍ଣ୍ଣ ଦାଖଲକାରୀ

SIGNATURE OF OWNER'S.

I Certified that the site condition including the Width of Abutting Road confirm with plan and that is a Buildable Site and not a tank or filled up tank. The plot is Bounded by Boundary wall. The width of the Road is 12.192 m.

Sabyasachi Patra

SABYASACHI PATRA
L.B.S. OF H.Z.P.
CLASS-I, REG. NO-10
DOMJUR - HOWRAH
9830532072 (M)

SIGNATURE OF L.B.S.

SHEET TITLE

SITE PLAN, TYPICAL FL. PLAN, BOTH SECTION.

PROPOSED PLAN OF G + 4 STORIED PART RESIDENTIAL AND PART COMMERCIAL BUILDING AT RS. DAG. NO.-1528, LR. DAG.NO.- 1198, LR. KH. NO.- 3816, 1796 & 8350, IN MOUZA- DOMJUR, J.L NO.- 33, PS.- DOMJUR, DIST.- HOWRAH.

SHEET NO.-02/03

SCALE:- 1:100,1:200,

DWG NO. AC / 849/ 16 A - 02

G

H