

PLOT NO.
 C-04-07 C-07-32 D-05-11
 C-04-09 D-02-08 D-06-22
 C-06-14 D-02-10 D-06-24
 C-06-18 D-02-12 D-06-26
 C-06-20 D-05-01 D-06-30
 C-06-20 D-05-03 D-06-32
 C-07-26 D-05-05
 C-07-28 D-05-07
 C-07-30 D-05-09

KOLKATA WEST INTERNATIONAL CITY

REVISED DRAWING FOR PROPOSED 3 STOREYED RESIDENTIAL BUILDING AT THE PROJECT SITE OF "KOLKATA WEST INTERNATIONAL CITY" AT WEST HOWRAH.

BUILDING TYPE-11mX20m B(1) STANDARD

GROUND FLOOR AREA (TYP.) = 120.17 SQM.
 FIRST FLOOR AREA (TYP.) = 100.41 SQM.
 SECOND FLOOR AREA (TYP.) = 95.13 SQM.
 TOTAL AREA = 275.71 SQM.
 No. of TYPICAL UNITS = 24
 TOTAL GROUND FLOOR AREA = 2884.88 Sqm.
 TOTAL FIRST FLOOR AREA = 2409.84 Sqm.
 TOTAL SECOND FLOOR AREA = 1323.12 Sqm.
 TOTAL TYPE B(1) AREA = 6617.84 Sqm.

DOOR WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	INTELCILL	REMARKS
D1	1500	2100	2100	WOODEN FLUSH
D2	1350	2100	2100	ALUMINIUM
D3	900	2100	2100	WOODEN FLUSH
D4	800	2100	2100	WOODEN FLUSH
D5	750	2100	2100	WOODEN FLUSH
SFD1	5110	2100	2100	MS S/F DOOR
SFD2	3100	2100	2100	ALUMINIUM S/F DOOR
SFD3	2500	2100	2100	ALUMINIUM S/F DOOR
W1	850	2000	2100	100 ALUMINIUM
W2	1425	1200	2100	900 ALUMINIUM
W3	900	2000	2100	100 ALUMINIUM
W4	1100	2000	2100	100 ALUMINIUM
W5	2150	1000	2100	1100 ALUMINIUM
W6	800	1200	2100	900 ALUMINIUM
W7	600	600	2100	1500 ALUMINIUM
W8	900	600	2100	1500 ALUMINIUM
W9	1600	600	2100	1500 ALUMINIUM
W10	2500	1200	3600	2400 ALUMINIUM
W11	1350	1200	2100	900 ALUMINIUM
W11a	1350	2000	2100	100 ALUMINIUM
W12	850	1200	2100	900 ALUMINIUM
W13	1000	600	2100	1500 ALUMINIUM
W14	2500	1200	2100	900 ALUMINIUM
W15	600	1200	2100	900 ALUMINIUM
W17	1665+166000	2100	900	ALUMINIUM
W18	1100	600	2100	1500 ALUMINIUM
W19	1100	500	-	ALUMINIUM
W20	1125	500	-	ALUMINIUM
W21	1330	1200	2100	900 ALUMINIUM
W22	435	600	2100	1500 ALUMINIUM
SW1	1000	1200	2100	900 ALUMINIUM

Kolkata West International City Pvt. Ltd.
 Authorised Signatory

SIGNATURE OF OWNER

"I HEREBY CERTIFY WITH FULL RESPONSIBILITY ON THE PLAN ITSELF THAT THE BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF DEVELOPMENT CONTROL REGULATION PREPARED FOR KOLKATA WEST INTERNATIONAL CITY TOWNSHIP PROJECT IN WEST HOWRAH THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ROAD CONFORM WITH THE PLAN AND IT IS BUILDABLE SITE AND NOT TANK OR FILLED UP TANK. THE SITE AND THE KEY PLAN CONFORMS WITH SITE AS PER DEED SITE PLAN. IT IS DEMARKED BY BOUNDARY WALL AND FILLING."

SIGNATURE OF ARCHITECT

"THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT."

SIGNATURE OF STRUCTURAL ENGINEER

SPECIFICATION:

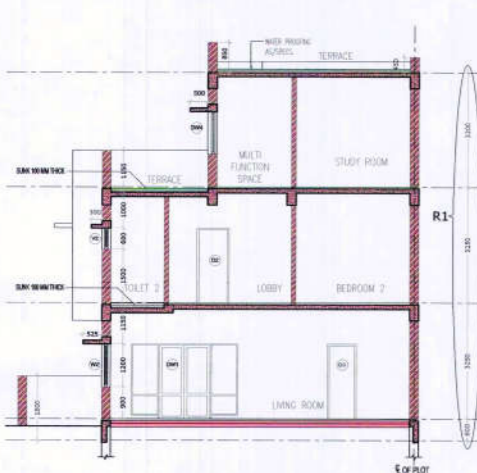
1. ALL DIMENSIONS ARE IN MM UNLESS OTHERWISE MENTIONED.
2. ALL ROOM DIMENSIONS ARE EXCLUDING THE PLASTER THICKNESS.
3. ALL EXTERNAL WALLS ARE 250mm TH. UNLESS OTHERWISE MENTIONED, CONSTRUCTED WITH CEMENT-SAND MORTAR (1:4).
4. ALL INTERNAL WALLS ARE 125mm THICK UNLESS OTHERWISE MENTIONED, CONSTRUCTED WITH CEMENT-SAND MORTAR (1:4).
5. REINFORCED CEMENT CONCRETE WORK WITH CEMENT-SAND-STONE (1:1.5:3) GRADE OF CONCRETE M20 AND GRADE OF STEEL Fe-550.
6. INTERNAL PLASTER 12MM TH. WITH CEMENT SAND MORTAR 1:5.
7. EXTERNAL PLASTER 20MM TH. WITH CEMENT SAND MORTAR 1:5.
8. CEILING PLASTER 8MM TH. WITH CEMENT SAND MORTAR 1:4.
9. FLOOR CEMENT CONCRETE (P.C.C.) WITH CEMENT-SAND-STONE (1:3:6).
10. WATERPROOFING ON ROOF TERRACE.
11. 40MM TH. DAMP PROOF (1:2:4) COURSE BELOW WALL.
12. ALL SORTS OF PRECAUTIONARY MEASURES WILL BE TAKEN AT THE TIME OF CONSTRUCTION OF INSPECTION PITS.
13. ASSUMING BEARING CAPACITY OF SOIL 875kN/m².
14. +100 LEVEL CONSIDERED AS BENCHMARK LEVEL @ 3.450m.

Revisions	No.	Description
R4		Room Dimension
R3		Reduction in Steps
R2		Wall thickness
R1		Building Height

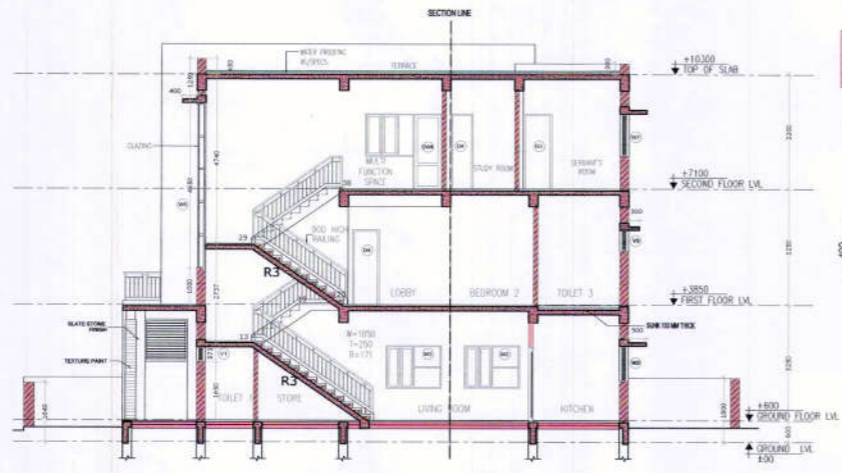
SCALE 1:100 (UNLESS OTHERWISE MENTIONED)
 KWIC/CLUSTER-2/B(1)/SANC

Date: 4 June 13

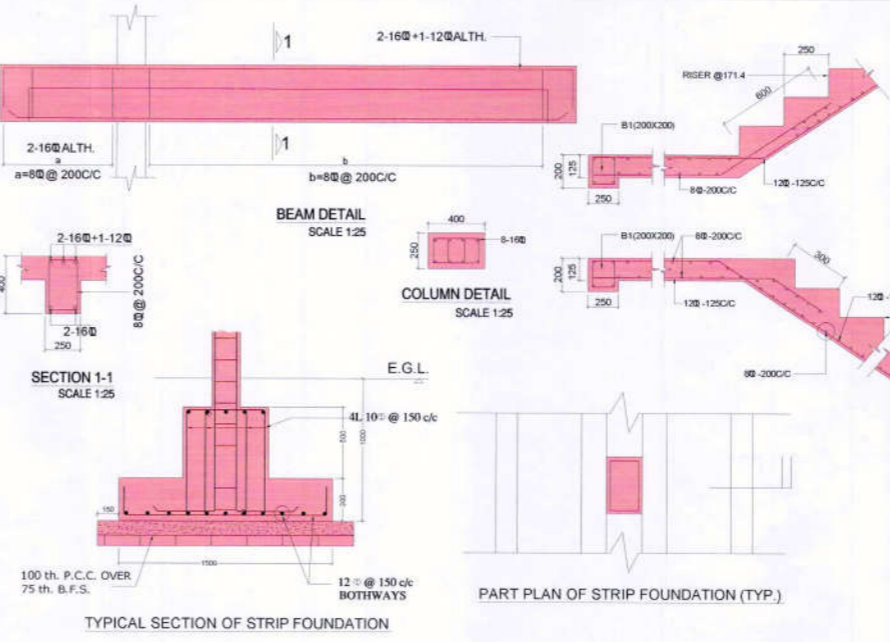
11



SECTION AA



SECTION BB



SECTION 1-1 SCALE 1:25

BEAM DETAIL SCALE 1:25

COLUMN DETAIL SCALE 1:25

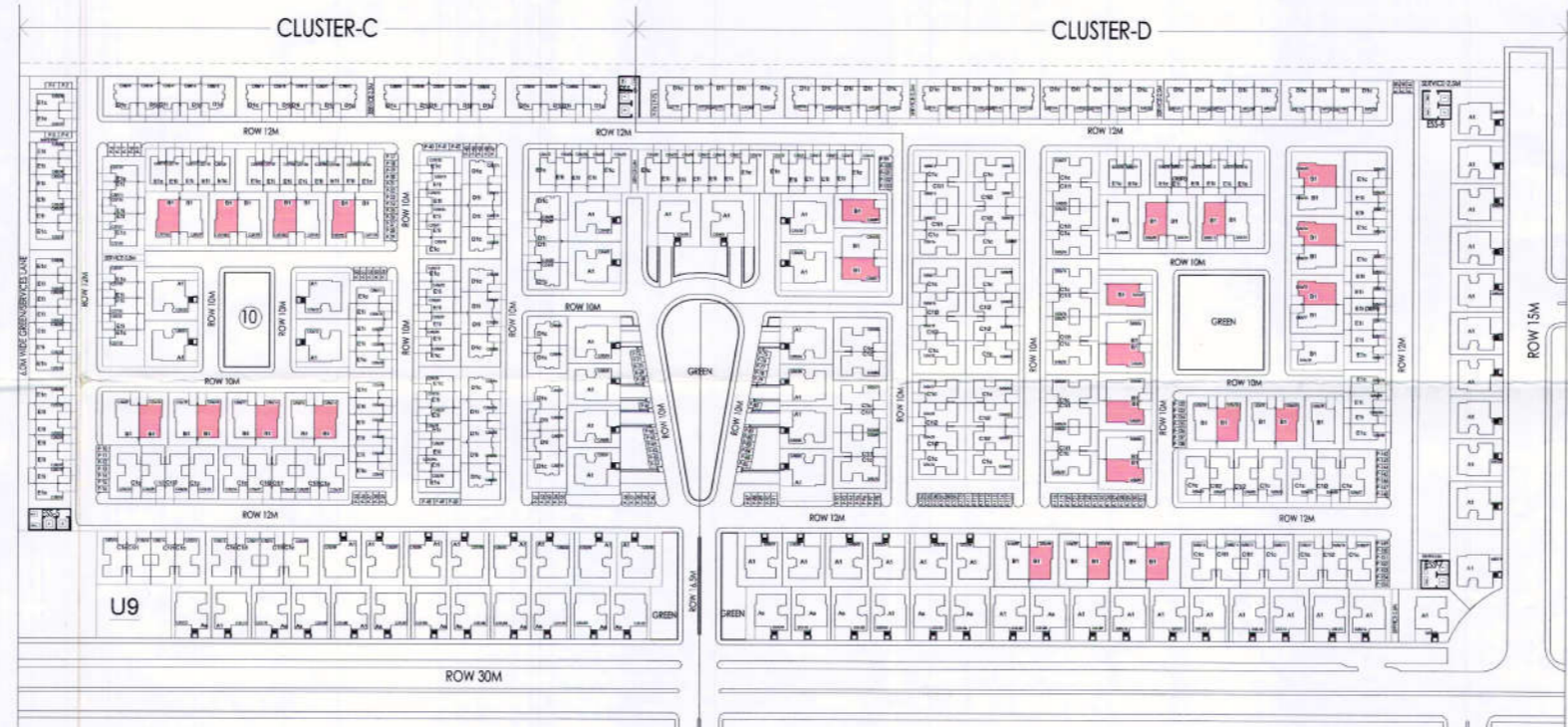
TYPICAL SECTION OF STRIP FOUNDATION

PART PLAN OF STRIP FOUNDATION (TYP.)

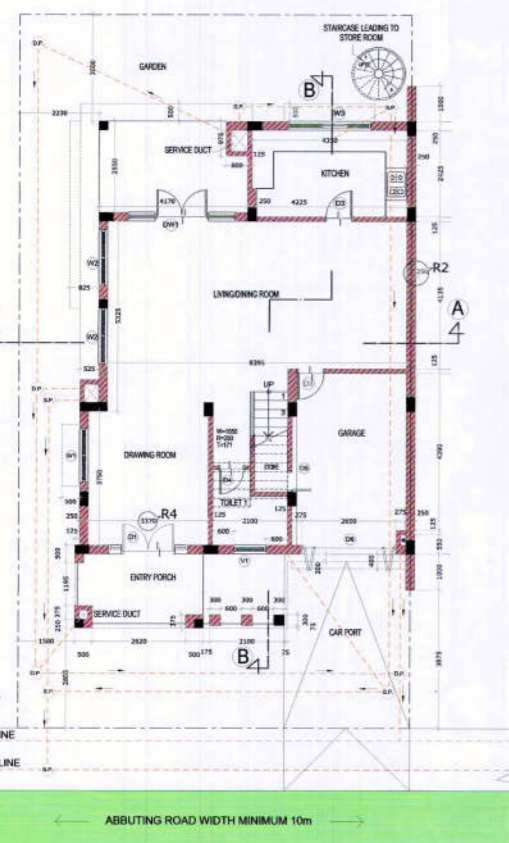
DETAIL OF STAIR SCALE 1:25



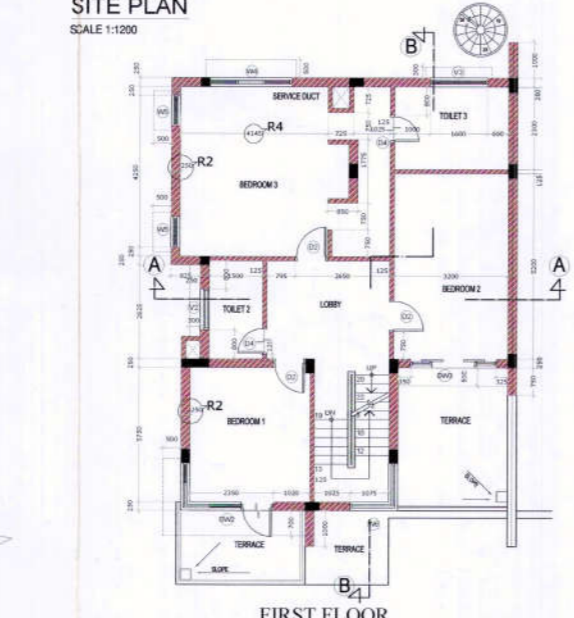
ELEVATION



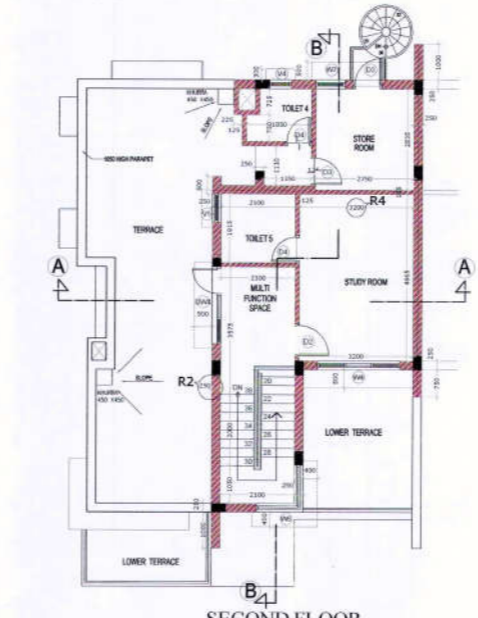
SITE PLAN SCALE 1:1200



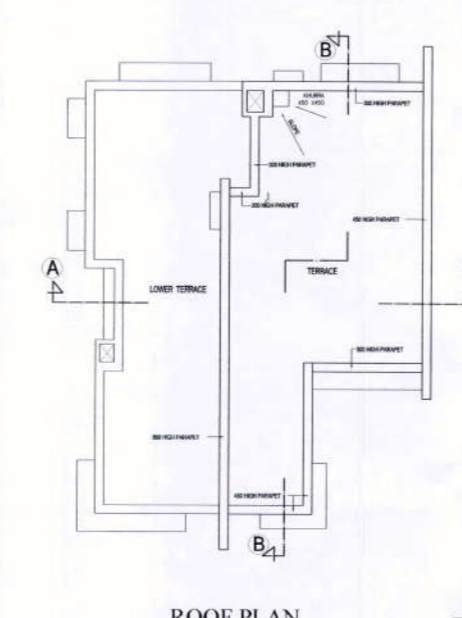
GROUND FLOOR



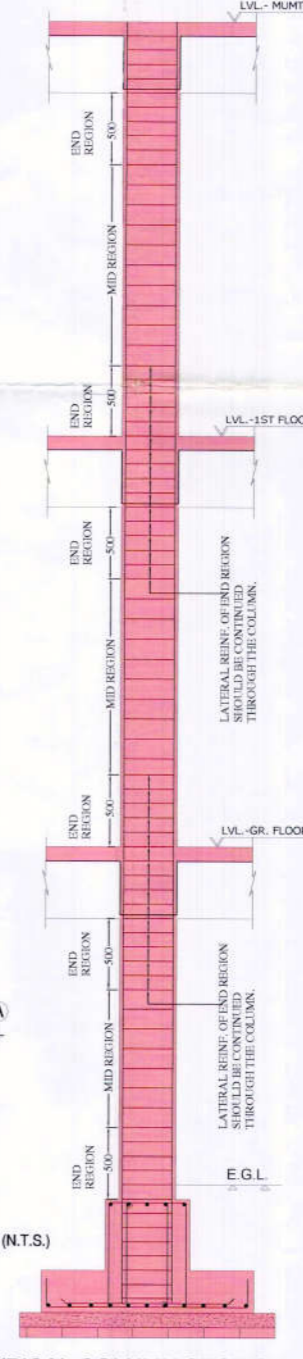
FIRST FLOOR



SECOND FLOOR



ROOF PLAN



TYPICAL COLUMN SECTION

(N.T.S.)

PROVISIONALLY
SANCTIONED

Before starting any erection, the site must conform with the conditions and all the proposals of the sanction in the plan shall be fulfilled by the owner. The validity of the sanction is 1 year from the date of sanction and can be renewed for further 1 year only subject to the Development Control Regulations and Building Bye-Laws of Kolkata West Municipal Council.



Design of all structural members including that of the foundation shall conform to the standard as specified in the National Building Code of latest edition.

ARTY'S COPY

The Sanction is Valid
up to 02/10/2018.

R. Mukherjee
3/10/2013
Director,
Statutory Planning Unit
K.M.D.A.