

PLOT NO.
 C-02-09 D-04-05 D-06-05
 C-02-13 D-04-09
 C-06-22 D-04-13
 C-06-26 D-04-17
 D-02-16 D-04-21
 D-02-19 D-05-21
 D-03-06 D-05-25
 D-03-10 D-05-29
 D-04-01 D-06-01

KOLKATA WEST INTERNATIONAL CITY

REVISED DRAWING FOR PROPOSED 3 STOREYED RESIDENTIAL BUILDING AT THE PROJECT SITE OF "KOLKATA WEST INTERNATIONAL CITY" AT WEST HOWRAH.

BUILDING TYPE-9mX20m C1(c) STANDARD

GROUND FLOOR AREA (TYP.) = 111.59 SQM.
 FIRST FLOOR AREA (TYP.) = 92.38 SQM.
 SECOND FLOOR AREA (TYP.) = 31.54 SQM.
 TOTAL AREA = 240.51 SQM.
 No. OF TYPICAL UNITS = 19
 TOTAL GROUND FLOOR AREA = 2120.21 Sqm.
 TOTAL FIRST FLOOR AREA = 1850.22 Sqm.
 TOTAL SECOND FLOOR AREA = 599.26 Sqm.
 TOTAL TYPE C1(c) AREA = 4569.69 Sqm.

DOOR WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	LINTEL	CILL	REMARKS
D1	1000	2100	2100	-	WOODEN FLUSH
D2	900	2100	2100	-	WOODEN FLUSH
D3	800	2100	2100	-	WOODEN FLUSH
D4	750	2100	2100	-	WOODEN FLUSH
D5	600	1300	1300	-	WOODEN FLUSH
D6	3000	2100	2100	-	ALUMINIUM DOOR
D7	2885	2100	2100	-	ALUMINIUM DOOR
W1	1900	2000	2100	100	ALUMINIUM
W1a	1815	2000	2100	100	ALUMINIUM
W2	1600	1000	2100	1100	ALUMINIUM
W3	1450	1200	2100	900	ALUMINIUM
W4	1000-2075	1200	2100	900	ALUMINIUM
W4a	1000-2075	2000	2100	100	ALUMINIUM
W5	1800	2450	2550	100	ALUMINIUM
W6	2885	2000	2100	100	ALUMINIUM
W7	2300	1200	2100	900	ALUMINIUM
W8	950	1200	2100	900	ALUMINIUM
W9	1600	4525	4625	100	ALUMINIUM
W10	1300	1300	-	-	ALUMINIUM
V1	600	AS/SITE	AS/SITE	1500	ALUMINIUM
V2	1600	600	2100	1500	ALUMINIUM
V3	950	600	2100	1500	ALUMINIUM
V4	1125	600	2100	1500	ALUMINIUM
V5	2300	450	-	-	ALUMINIUM

Kolkata West International City Pvt. Ltd.
 Authorised Signatory

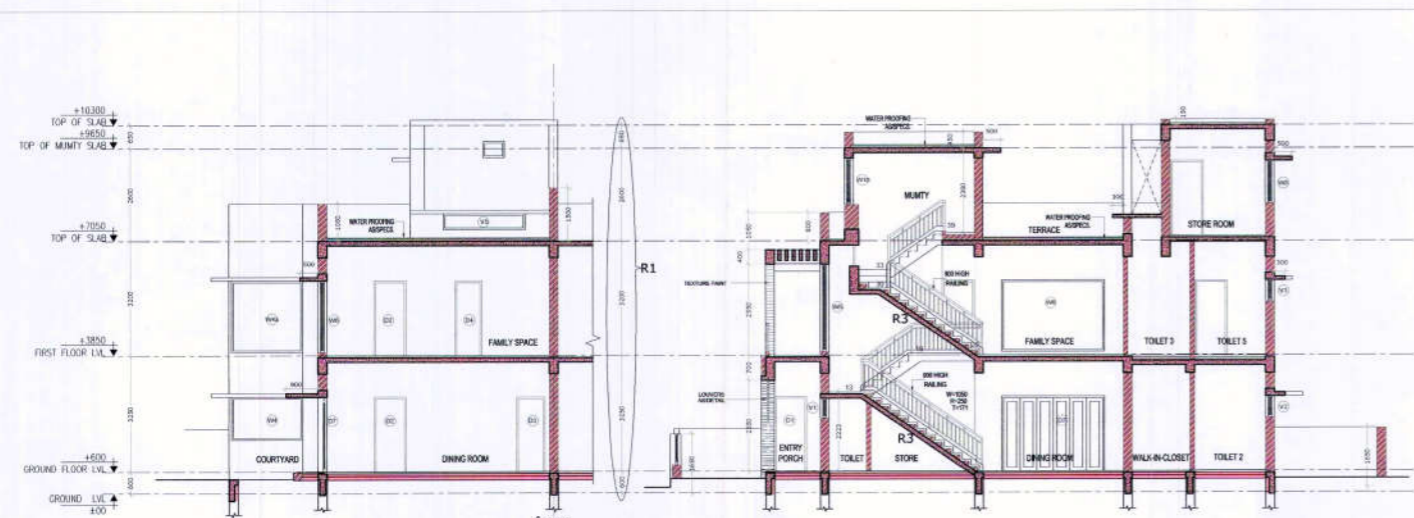
SIGNATURE OF OWNER
 "I HEREBY CERTIFY WITH FULL RESPONSIBILITY ON THE PLAN ITSELF THAT THE BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF DEVELOPMENT CONTROL REGULATION PREPARED FOR KOLKATA WEST INTERNATIONAL CITY TOWNSHIP PROJECT IN WEST HOWRAH THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ROAD CONFIRM WITH THE PLAN AND IT IS BUILDABLE SITE AND NOT TANK OR FILLED UP TANK. THE SITE AND THE KEY PLAN CONFORMS WITH SITE AS PER DEED SITE PLAN. IT IS DEMARKETED BY BOUNDARY WALL AND PILLAR."
 SUNIL GAIKHE
 CONSULTING ARCHITECT
 Regd. No. CA/95/18350
 SIGNATURE OF ARCHITECT

"THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT."
 SIGNATURE OF STRUCTURAL ENGINEER

- SPECIFICATION:
- ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE MENTIONED.
 - ALL ROOM DIMENSIONS ARE EXCLUDING THE PLASTER THICKNESS.
 - ALL EXTERNAL WALLS ARE 230mm TH UNLESS OTHERWISE MENTIONED. CONSTRUCTED WITH CEMENT-SAND MORTAR (1:6).
 - ALL INTERNAL WALLS ARE 125mm THICK UNLESS OTHERWISE MENTIONED. CONSTRUCTED WITH CEMENT-SAND MORTAR (1:4).
 - REINFORCED CEMENT CONCRETE WORK WITH CEMENT-SAND-STONE (1:1.5:3). GRADE OF CONCRETE M20 AND GRADE OF STEEL Fe-550.
 - INTERNAL PLASTER 12MM TH WITH CEMENT SAND MORTAR (1:4).
 - EXTERNAL PLASTER 20MM TH WITH CEMENT SAND MORTAR (1:6).
 - CEILING PLASTER 6MM TH WITH CEMENT SAND MORTAR (1:4).
 - PLAIN CEMENT CONCRETE (P.C.C.) WITH CEMENT-SAND-STONE (1:3:6).
 - WATERPROOFING ON ROOF TERRACE.
 - 40MM TH DAMP PROOF (1:2:4) COURSE BELOW WALL.
 - ALL SORTS OF PRECAUTIONARY MEASURES WILL BE TAKEN AT THE TIME OF CONSTRUCTION OF INSPECTION PITS.
 - ASSUMING BEARING CAPACITY OF SOIL 8T/CM².
 - 400 LEVEL CONSIDERED AS BENCHMARK LEVEL @ 3.450m.

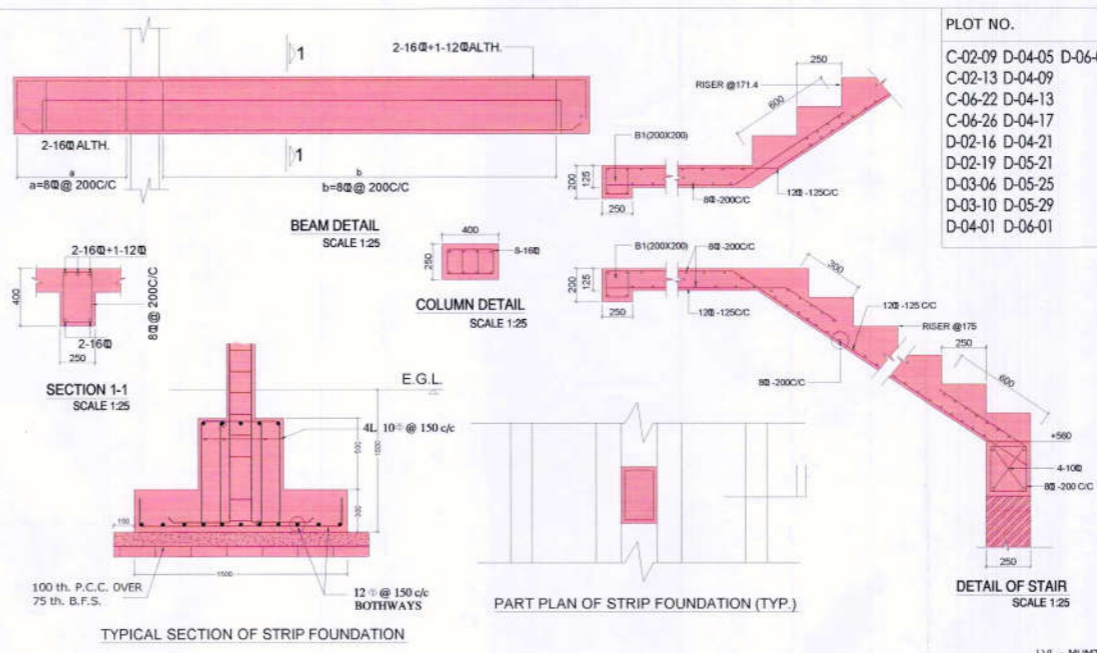
Revisions	No.	Description	Date
R4		Room Dimension	4 June 13
R3		Reduction in Steps	
R2		Wall thickness	
R1		Building Height	

SCALE 1:100 (UNLESS OTHERWISE MENTIONED)
 KWIC/CLUSTER-2/C1(c)/SANC 12



SECTION AA

SECTION BB



BEAM DETAIL SCALE 1:25

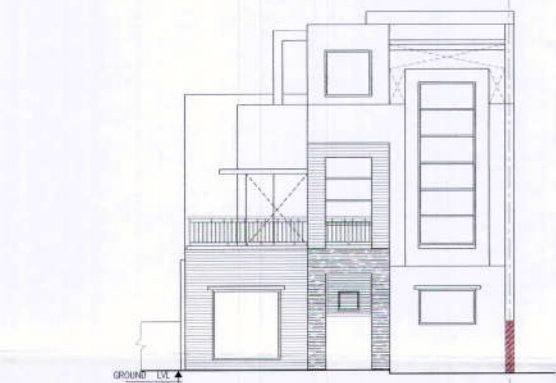
COLUMN DETAIL SCALE 1:25

SECTION 1-1 SCALE 1:25

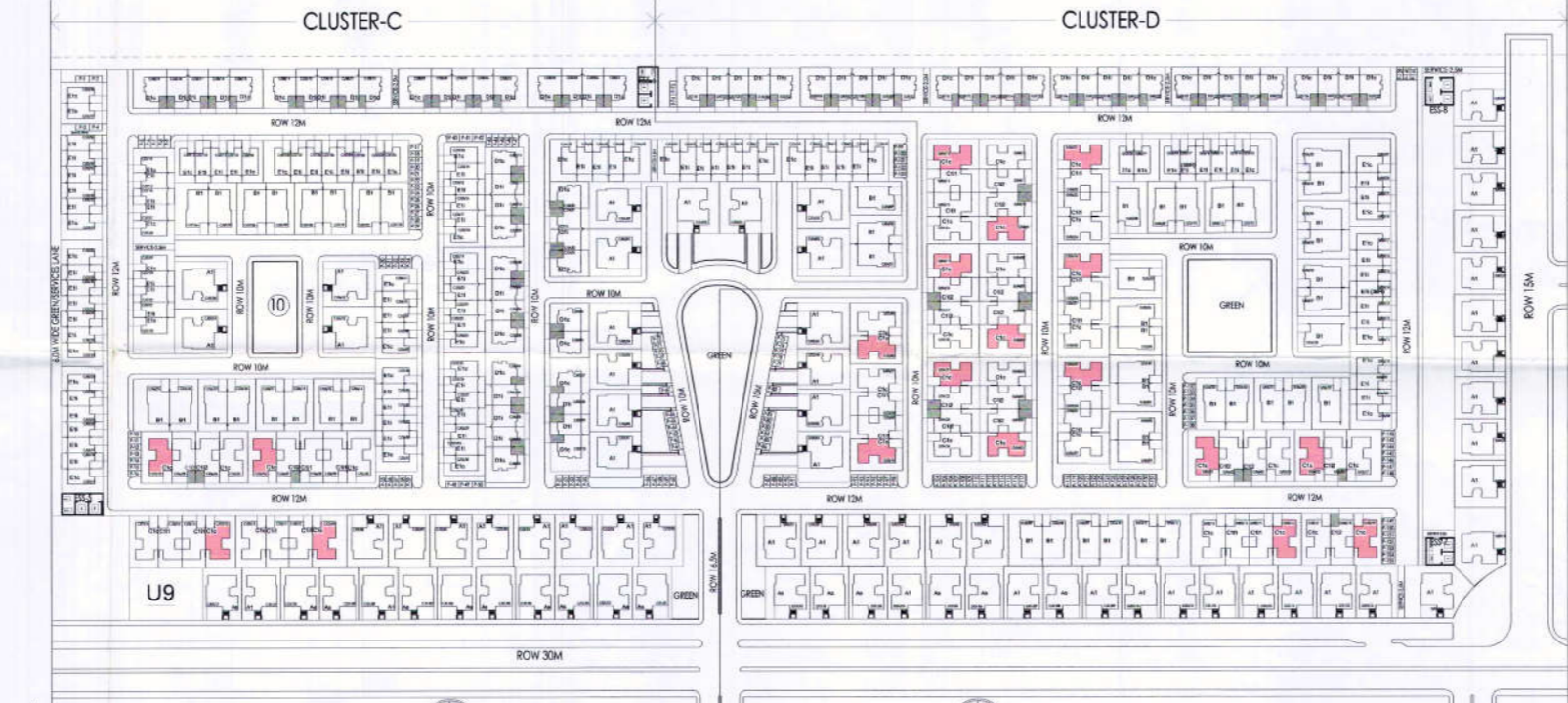
TYPICAL SECTION OF STRIP FOUNDATION

PART PLAN OF STRIP FOUNDATION (TYP.)

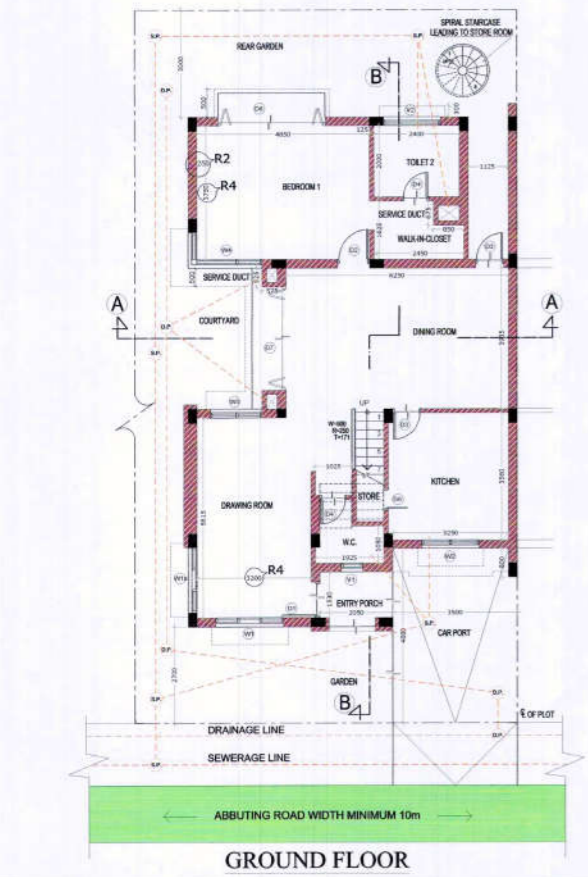
DETAIL OF STAIR SCALE 1:25



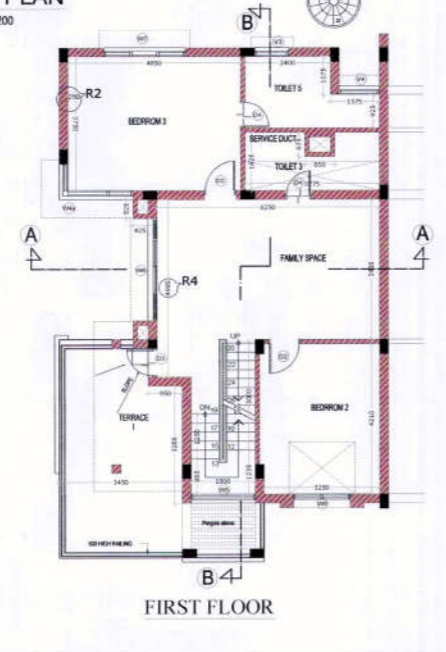
ELEVATION



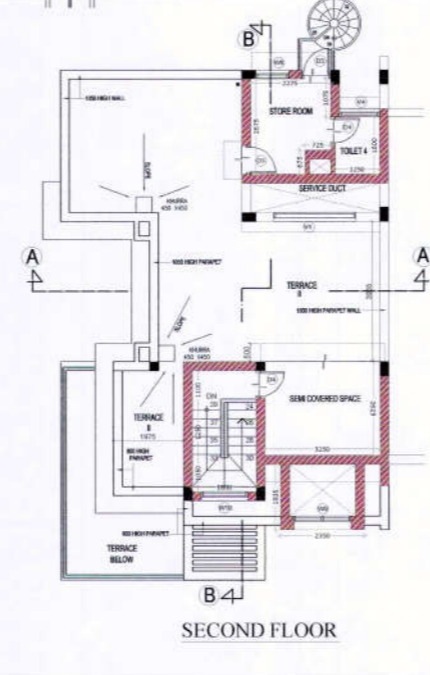
SITE PLAN SCALE 1:1200



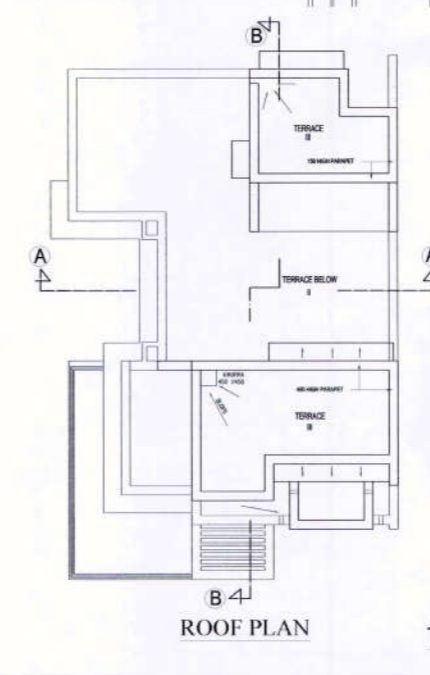
GROUND FLOOR



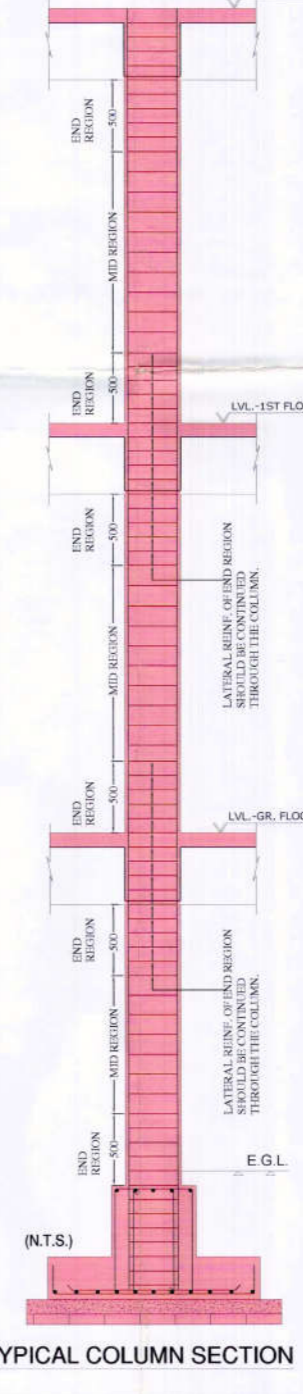
FIRST FLOOR



SECOND FLOOR



ROOF PLAN



TYPICAL COLUMN SECTION

**PROVISIONALLY
SANCTIONED**

Before erecting any erection, the site must conform with all the conditions and all the preposals/requirements in the plan. The validity of the sanction is for a period of five years from the date of sanction and shall be renewed for further five years. It is subject to the Development Control Regulations and Building Bye-Laws of the Corporation of Chennai.



Details of all structural members including that of the foundation shall conform to the standard as specified in the National Building Code of latest edition.

The Sanction is valid up to 02/10/2018.

B. Manoj
3/10/2013
Director,
Structural Planning Unit
C.M.U.A.