

**PLOT NO.**  
 C-02-11  
 C-02-15  
 C-06-29  
 D-02-14  
 D-03-08  
 D-04-15  
 D-05-23  
 D-05-27  
 D-05-31

**KOLKATA WEST INTERNATIONAL CITY**

REVISED DRAWING FOR PROPOSED 3 STOREYED RESIDENTIAL BUILDING AT THE PROJECT SITE OF "KOLKATA WEST INTERNATIONAL CITY" AT WEST HOWRAH.

**BUILDING TYPE-9mX20m STANDARD C1(i-1)**

GROUND FLOOR AREA (TYP.) = 111.19 SQM  
 FIRST FLOOR AREA (TYP.) = 95.32 SQM  
 SECOND FLOOR AREA (TYP.) = 31.54 SQM  
 TOTAL AREA = 238.05 SQM  
 No. of TYPICAL UNITS = 9  
 TOTAL GROUND FLOOR AREA = 1000.71 Sqm  
 TOTAL FIRST FLOOR AREA = 857.88 Sqm  
 TOTAL SECOND FLOOR AREA = 283.86 Sqm  
 TOTAL TYPE C1(i) AREA = 2142.45 Sqm

**DOOR WINDOW SCHEDULE**

TYPE	WIDTH	HEIGHT	LINTEL	CILL	REMARKS
D1	1000	2100	2100	-	WOODEN FLUSH
D2	900	2100	2100	-	WOODEN FLUSH
D3	800	2100	2100	-	WOODEN FLUSH
D4	750	2100	2100	-	WOODEN FLUSH
D5	800	1300	1300	-	WOODEN FLUSH
D6	3000	2100	2100	-	ALUMINUM DOOR
D7	2885	2100	2100	-	ALUMINUM DOOR
W1	1900	2000	2100	100	ALUMINUM
W1a	1815	2000	2100	100	ALUMINUM
W2	1600	1000	2100	1100	ALUMINUM
W3	1450	1200	2100	900	ALUMINUM
W4	1000-2075	1200	2100	900	ALUMINUM
W4a	1000-2075	2000	2100	100	ALUMINUM
W5	1800	2450	2550	100	ALUMINUM
W6	2885	2000	2100	100	ALUMINUM
W7	2300	1200	2100	900	ALUMINUM
W8	950	1200	2100	900	ALUMINUM
W9	1600	4525	4625	100	ALUMINUM
W10	1300	1300	-	-	ALUMINUM
V1	600	AS/SITE	AS/SITE	1500	ALUMINUM
V2	1600	600	2100	1500	ALUMINUM
V3	950	600	2100	1500	ALUMINUM
V4	1125	600	2100	1500	ALUMINUM
V5	2300	450	-	-	ALUMINUM

Kolkata West International City Pvt. Ltd.  
 Authorised Signatory

**SIGNATURE OF OWNER**

"I HEREBY CERTIFY WITH FULL RESPONSIBILITY ON THE PLAN ITSELF THAT THE BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF DEVELOPMENT CONTROL REGULATION PREPARED FOR KOLKATA WEST INTERNATIONAL CITY TOWNSHIP PROJECT IN WEST HOWRAH THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ROAD CONFORM WITH THE PLAN AND IT IS BUILDABLE SITE AND NOT TANK OR FILLED UP TANK. THE SITE AND THE KEY PLAN CONFIRMS WITH SITE AS PER DEED SITE PLAN. IT IS DEMARKETED BY BOUNDARY WALL AND PILLAR."

**SIGNATURE OF ARCHITECT**

SUNIL GAIKHE  
 CONSULTING ARCHITECT  
 Reg. No. CA/55-13359

**SIGNATURE OF STRUCTURAL ENGINEER**

"THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT."

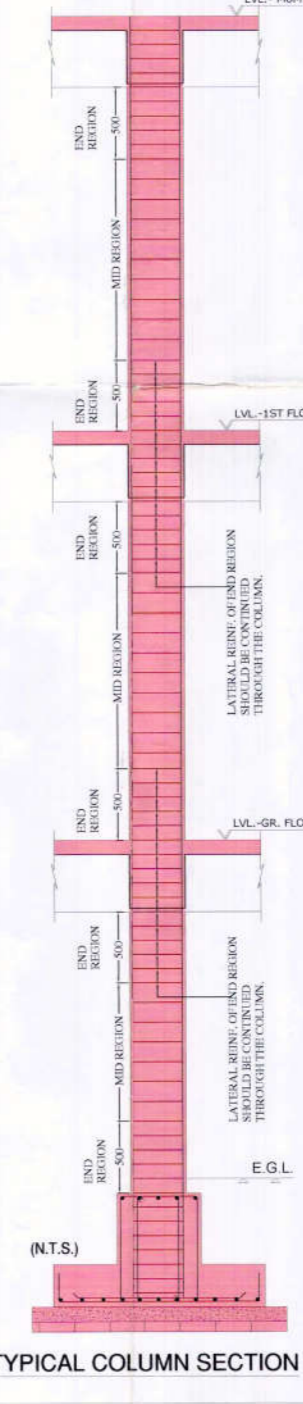
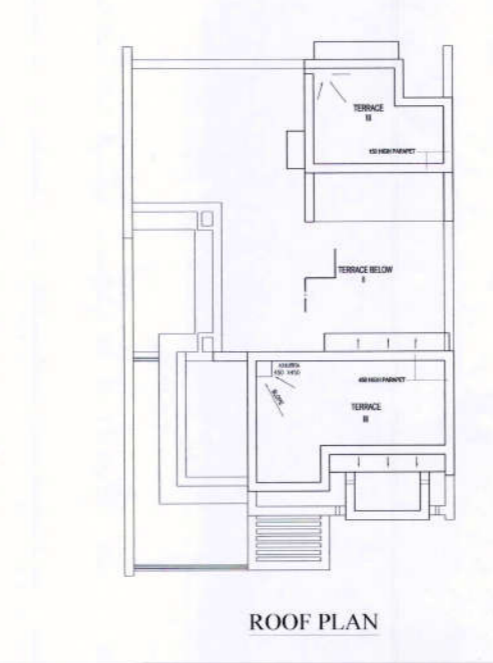
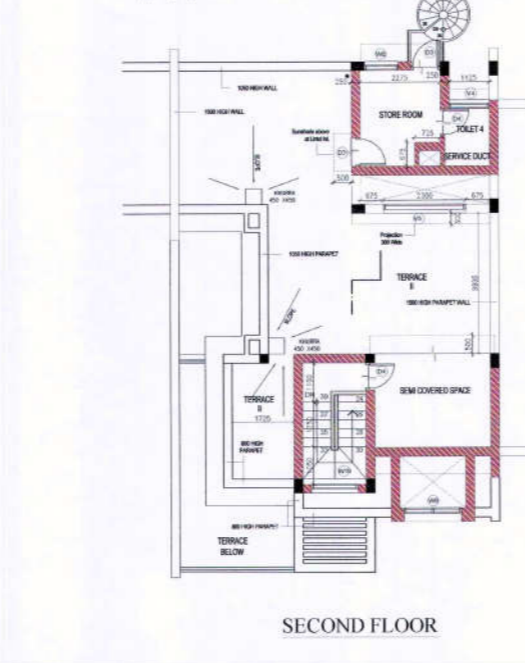
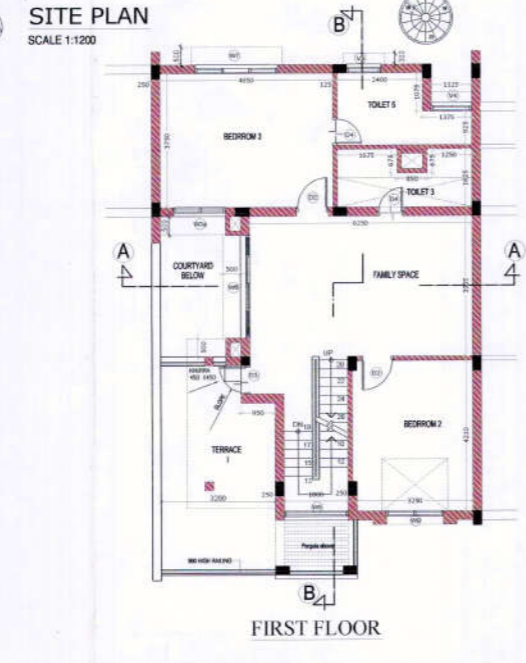
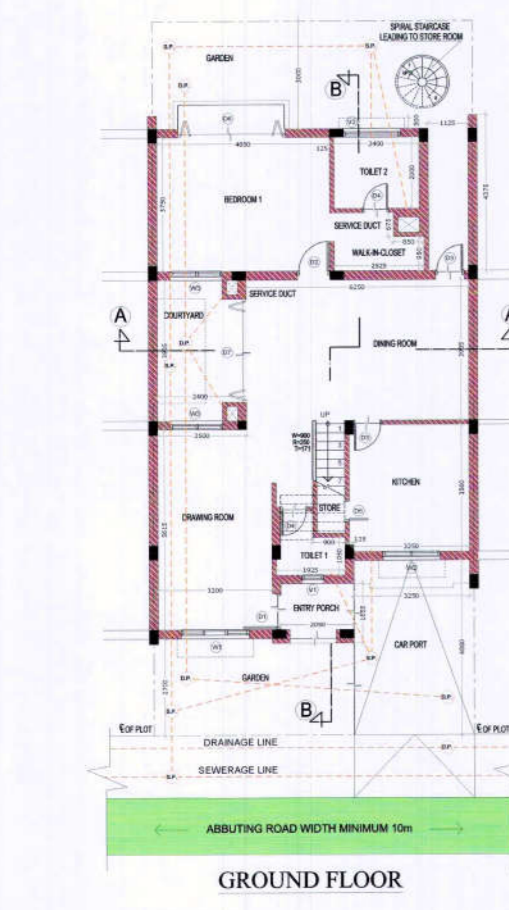
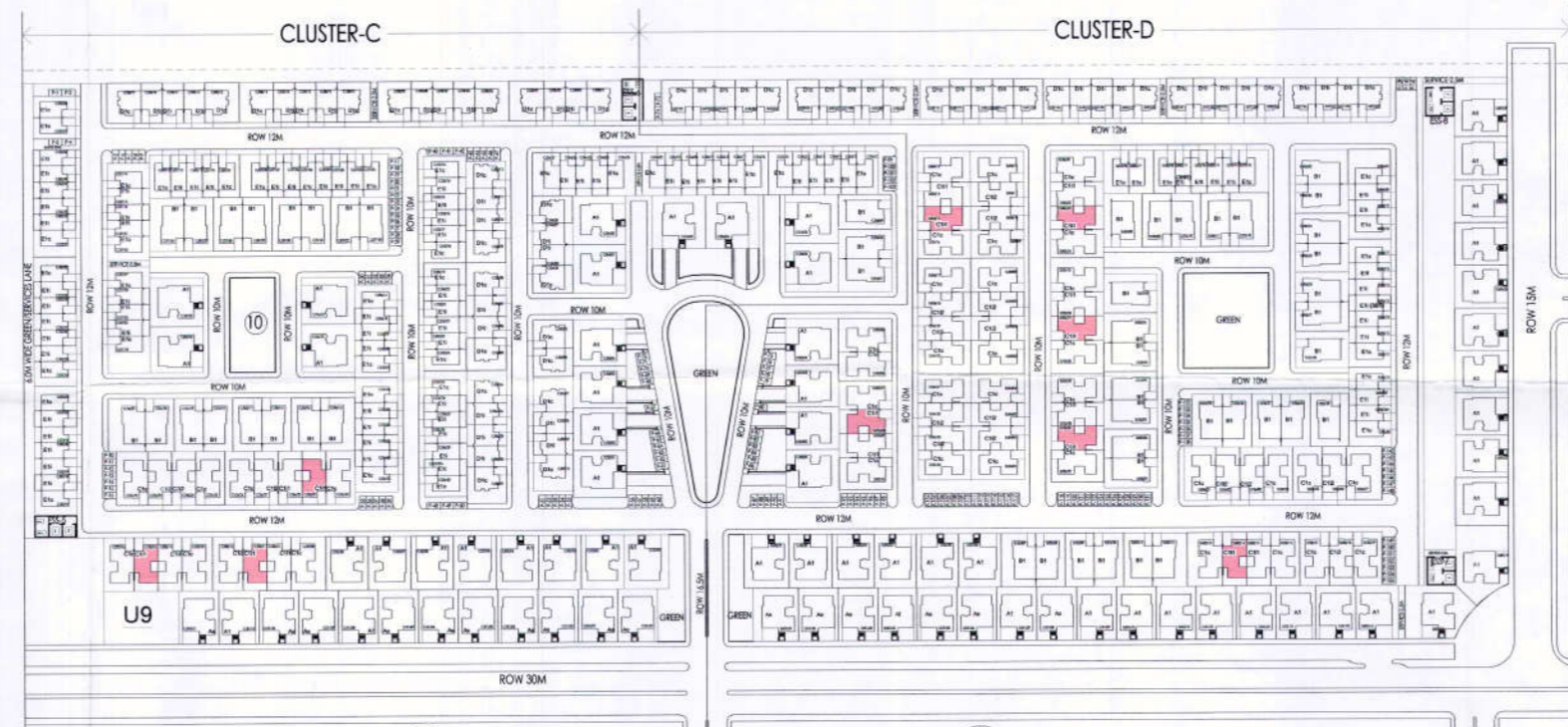
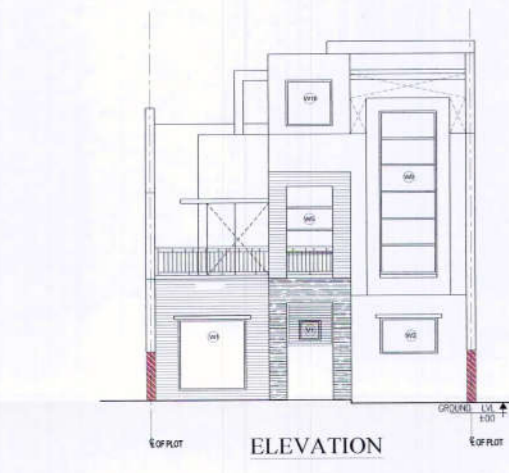
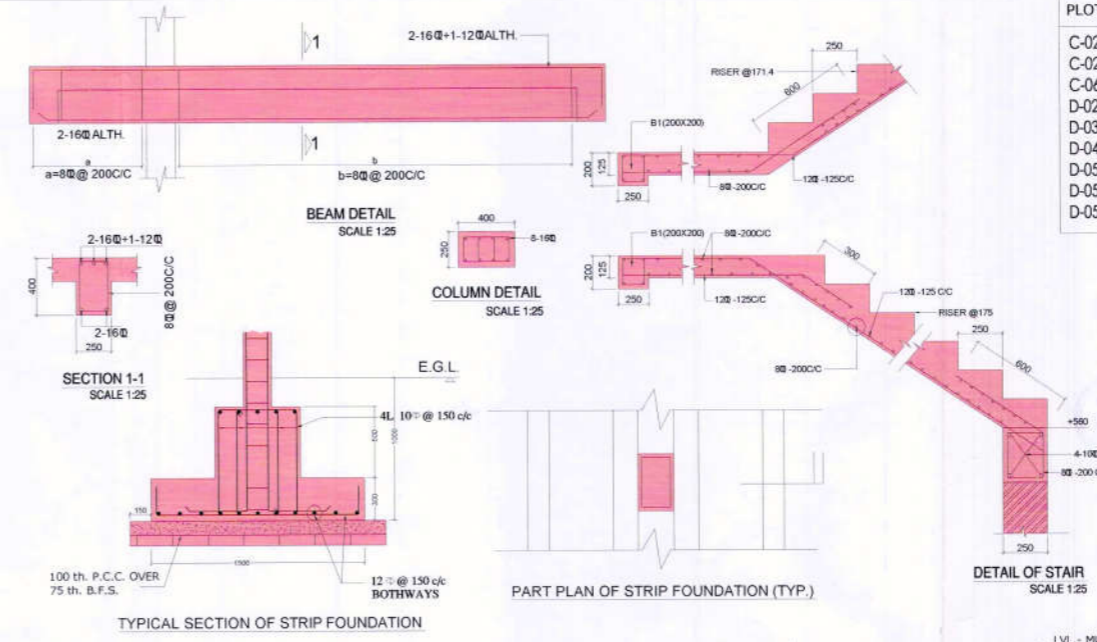
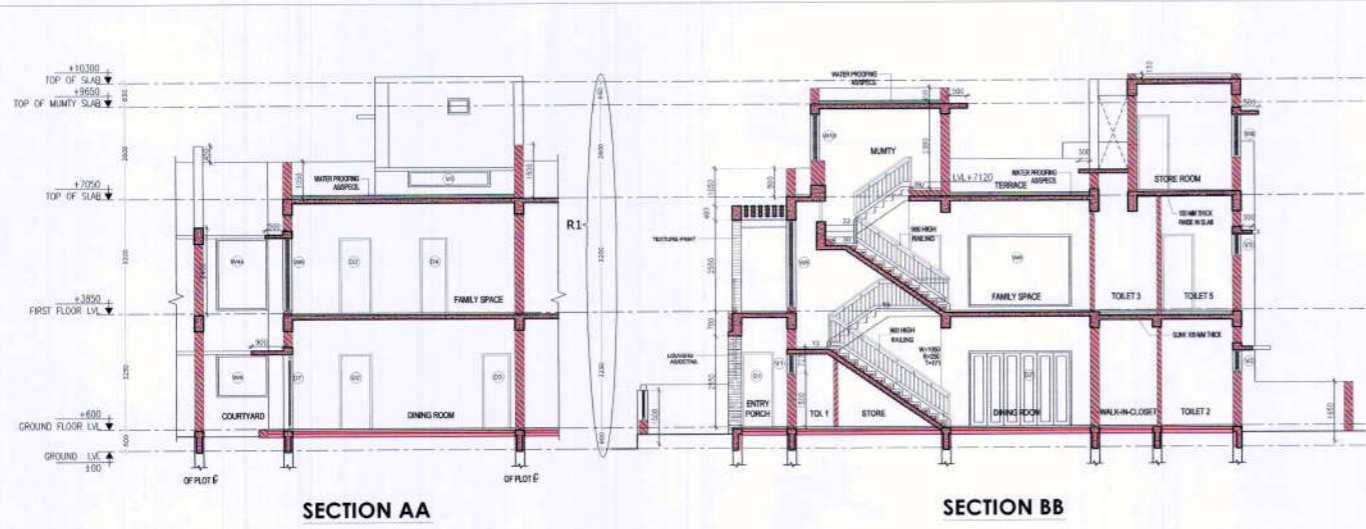
**SIGNATURE OF STRUCTURAL ENGINEER**

**SPECIFICATION:**

1. ALL DIMENSIONS ARE IN mm OTHERWISE MENTIONED.
2. ALL ROOM DIMENSIONS ARE EXCLUDING THE PLASTER THICKNESS.
3. ALL EXTERNAL WALLS ARE 230mm TH. UNLESS OTHERWISE MENTIONED. CONSTRUCTED WITH CEMENT-SAND MORTAR (1:4).
4. ALL INTERNAL WALLS ARE 125mm TH. UNLESS OTHERWISE MENTIONED. CONSTRUCTED WITH CEMENT-SAND MORTAR (1:4).
5. REINFORCED CEMENT CONCRETE WORK WITH CEMENT-SAND-STONE (1:1.5:3). GRADE OF CONCRETE M20 AND GRADE OF STEEL Fe-250.
6. INTERNAL PLASTER 12MM TH. WITH CEMENT SAND MORTAR (1:4).
7. EXTERNAL PLASTER 20MM TH. WITH CEMENT SAND MORTAR (1:4).
8. CEILING PLASTER 8MM TH. WITH CEMENT SAND MORTAR (1:4).
9. PLAIN CEMENT CONCRETE (P.C.C.) WITH CEMENT-SAND-STONE (1:3:6).
10. WATERPROOFING ON ROOF TERRACE.
11. 40MM TH. DAMP PROOF (1:2:4) COURSE BELOW WALL.
12. ALL SORTS OF PRECAUTIONARY MEASURES WILL BE TAKEN AT THE TIME OF CONSTRUCTION OF INSPECTION FITS.
13. ASSUMING BEARING CAPACITY OF SOIL 87/Sqm.
14. +00 LEVEL CONSIDERED AS BENCHMARK LEVEL @ 3.450m.

Revisions	No.	Description	Date:
R4	R4	Room Dimension	4 June 13
R3	R3	Reduction in Steps	
R2	R2	Wall thickness	
R1	R1	Building Height	
No.	Description		

SCALE 1:100 (UNLESS OTHERWISE MENTIONED)  
 KWIC/CLUSTER-2/C1(i-1)/SANC 14



**PROVISIONALLY  
SANCTIONED**

Before starting any erection, the proponent  
must conform with the following conditions and all  
the provisions/requirements in the plan  
shall be fulfilled by the owner. The  
validity of the sanction is 5 years from  
the date of sanction and can be renewed  
for further five years only subject to the  
Development Control Regulations and  
Building Bye Laws for Kozhikode West  
Municipal City.



ARTY'S COPY

Details of all structural members including  
that of the foundation shall conform to the  
standard as specified in the National Building  
Code of latest edition.

The Sanction is valid  
up to 02/10/2018.

*of KMDA/HMC/1/2*  
3/10/2013  
Director,  
Regulatory Planning wing  
KMDA/HMC/1/2