

PLOT NO.
 C-03-06 C-08-15
 C-03-10 D-07-05
 C-04-31 D-07-10
 C-05-04 D-07-15
 C-05-08 D-07-20
 C-05-12 D-07-25
 C-08-01 D-07-29
 C-08-05
 C-08-10

KOLKATA WEST INTERNATIONAL CITY

REVISED DRAWING FOR PROPOSED 3 STOREY RESIDENTIAL BUILDING AT THE PROJECT SITE OF "KOLKATA WEST INTERNATIONAL CITY" AT WEST HOWRAH.

BUILDING TYPE - 8mX15m CORNER - STANDARD **D1(c)**

GROUND FLOOR AREA (TYP.) = 70.27 SQM
 FIRST FLOOR AREA (TYP.) = 82.32 SQM
 2ND FLOOR AREA (TYP.) = 36.80 SQM
 TOTAL AREA = 149.41 SQM

No. OF TYPICAL UNITS = 16

TOTAL GROUND FLOOR AREA = 1124.32 Sqm
 TOTAL FIRST FLOOR AREA = 997.12 Sqm
 TOTAL SECOND FLOOR AREA = 589.12 Sqm
 TOTAL TYPE R1(S) AREA = 2710.56 Sqm

DOOR WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	LINTEL	CILL	REMARKS
D1	1000	2100	2100	-	WOODEN FLUSH
D2	900	2100	2100	-	WOODEN FLUSH
D3	750	2100	2100	-	WOODEN FLUSH
D4	600	1650	1650	-	WOODEN FLUSH
D5	750	2100	2100	-	WOODEN FLUSH
DW1	3000	2100	2100	-	ALUMINIUM
DW2	2700	2100	2100	-	ALUMINIUM
W1	850	2000	2100	100	ALUMINIUM
W1a	600	2000	2100	100	ALUMINIUM
W2	800	2000	2100	100	ALUMINIUM
W3	900	1000	2100	1100	ALUMINIUM
W4	1500	1200	2100	900	ALUMINIUM
W5	400	1200	2100	900	ALUMINIUM
W6	500+1650	3350	-	-	ALUMINIUM
W7	1000	1200	2100	900	ALUMINIUM
V1	900	300	2100	1800	ALUMINIUM
V4	600	600	2100	1500	ALUMINIUM
V5	750	600	2100	1500	ALUMINIUM

Kolkata West International City Pvt. Ltd.
 Authorised Signatory

SIGNATURE OF OWNER
 "I HEREBY CERTIFY WITH FULL RESPONSIBILITY ON THE PLAN ITSELF THAT THE BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF DEVELOPMENT CONTROL REGULATION PREPARED FOR KOLKATA WEST INTERNATIONAL CITY TOWNSHIP PROJECT IN WEST HOWRAH THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ROAD CONFORM WITH THE PLAN AND IT IS BUILDABLE SITE AND NOT TANK OR FILLED UP TANK. THE SITE AND THE KEY PLAN CONFORMS WITH SITE AS PER DEED SITE PLAN. IT IS DEMARCATED BY BOUNDARY WALL AND PILLAR."

SUNIL GAIKHE
 CONSULTING ARCHITECT
 Regd. No. CA/95/19359
 SIGNATURE OF ARCHITECT

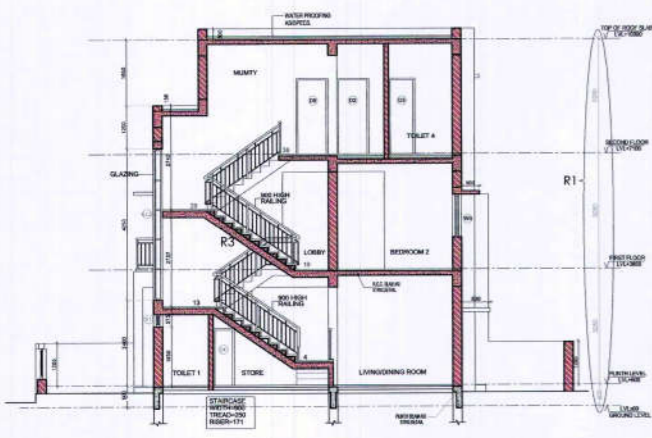
"THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT."

SIGNATURE OF STRUCTURAL ENGINEER

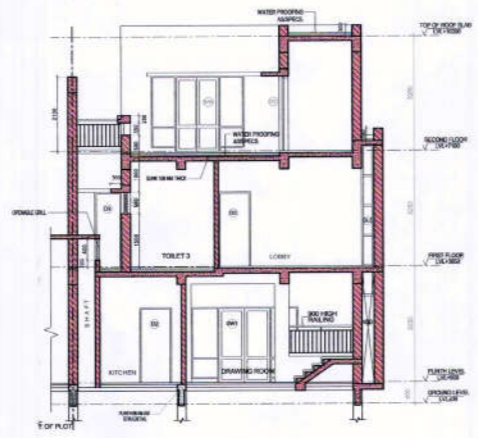
- SPECIFICATION:
- ALL DIMENSIONS ARE IN MM UNLESS OTHERWISE MENTIONED.
 - ALL ROOM DIMENSIONS ARE EXCLUDING THE PLASTER THICKNESS.
 - ALL EXTERNAL WALLS ARE 250MM THK UNLESS OTHERWISE MENTIONED, CONSTRUCTED WITH CEMENT SAND MORTAR (1:6).
 - ALL INTERNAL WALLS ARE 125MM THK UNLESS OTHERWISE MENTIONED, CONSTRUCTED WITH CEMENT SAND MORTAR (1:6).
 - REINFORCED CONCRETE WORK WITH CEMENT SAND STONE (1:1.5:3), GRADE OF CONCRETE M20 AND GRADE OF STEEL Fe-550.
 - INTERNAL PLASTER 12MM THK WITH CEMENT SAND MORTAR 1:6.
 - EXTERNAL PLASTER 20MM THK WITH CEMENT SAND MORTAR 1:6.
 - CEILING PLASTER 8MM THK WITH CEMENT SAND MORTAR (1:3:6).
 - PLANK CONCRETE (P.C.C.) WITH CEMENT SAND STONE (1:3:6).
 - WATERPROOFING ON ROOF TERRACE.
 - 40MM THK DAMP PROOF (1:2:4) COURSE BELOW WALL.
 - ALL SORTS OF PRECAUTIONARY MEASURES WILL BE TAKEN AT THE TIME OF CONSTRUCTION OF INSPECTION PITS.
 - ASSUMING BEARING CAPACITY OF SOIL 87.5kN.
 - 400 LEVEL CONSIDERED AS BENCHMARK LEVEL @ 3.450m.

Revisions	No.	Description	Date
R4	Room Dimension		
R3	Reduction in Steps		
R2	Wall thickness		
R1	Building Height		

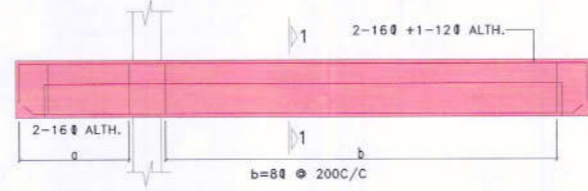
SCALE 1:100 (UNLESS OTHERWISE MENTIONED)
 KWIC/CLUSTER-2/D1(c)/SANC **19**



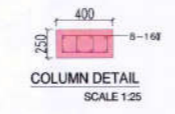
SECTION AA



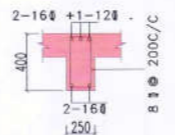
SECTION BB



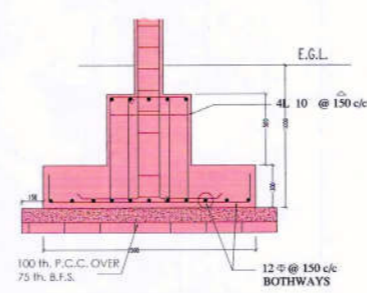
BEAM DETAIL SCALE 1:25



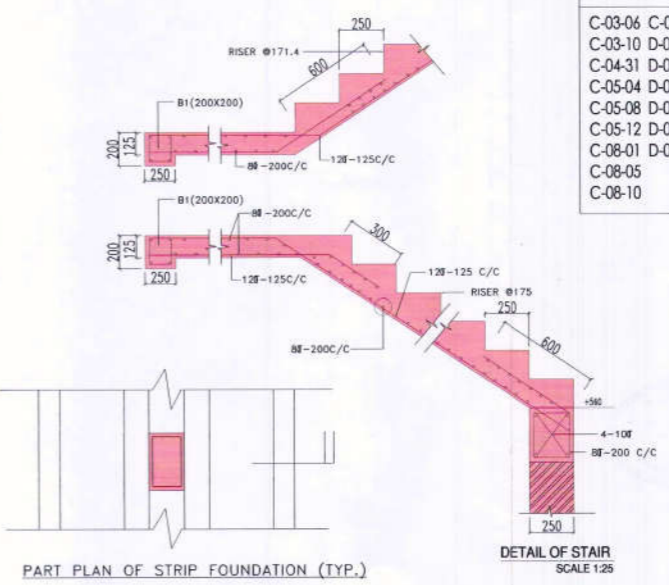
COLUMN DETAIL SCALE 1:25



SECTION 1-1 SCALE 1:25



TYPICAL SECTION OF STRIP FOUNDATION

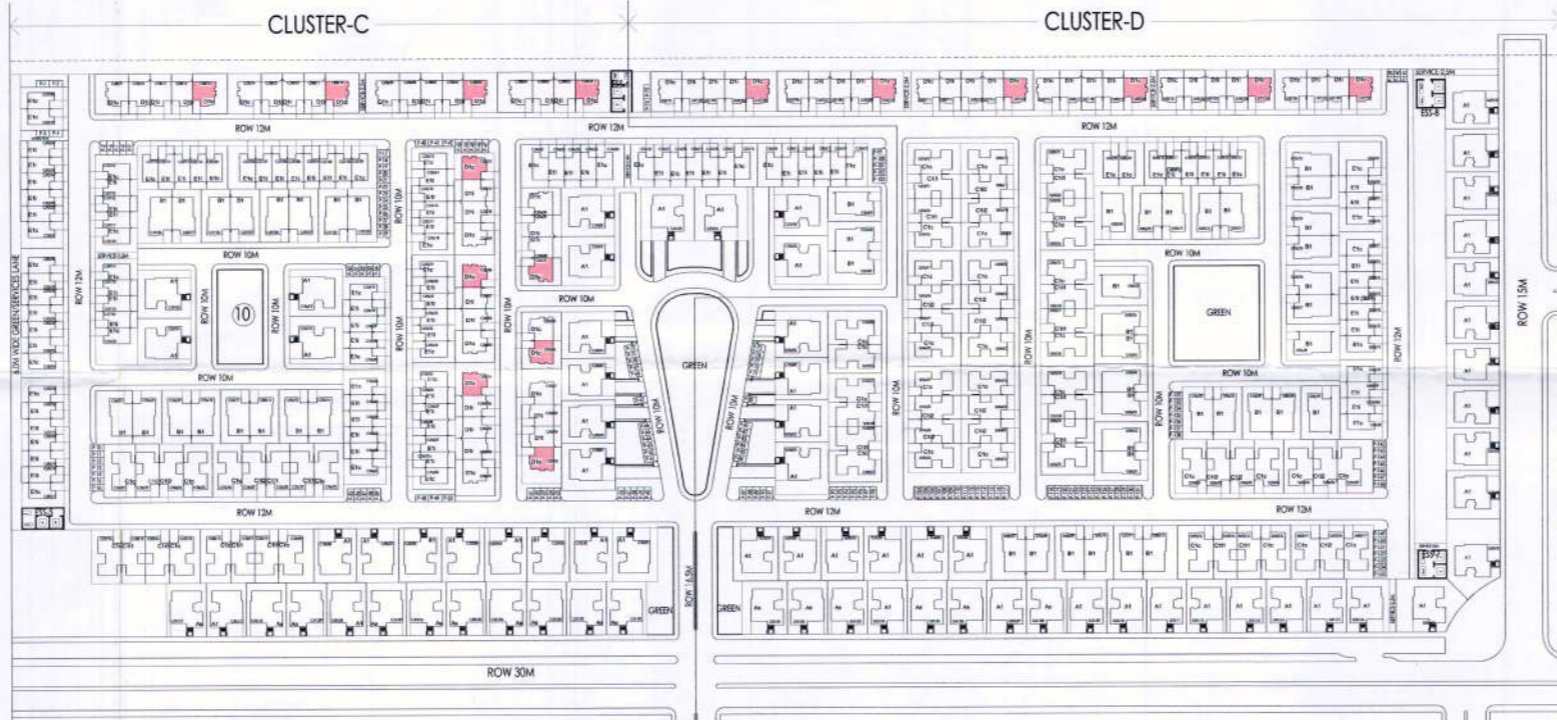


PART PLAN OF STRIP FOUNDATION (TYP.)

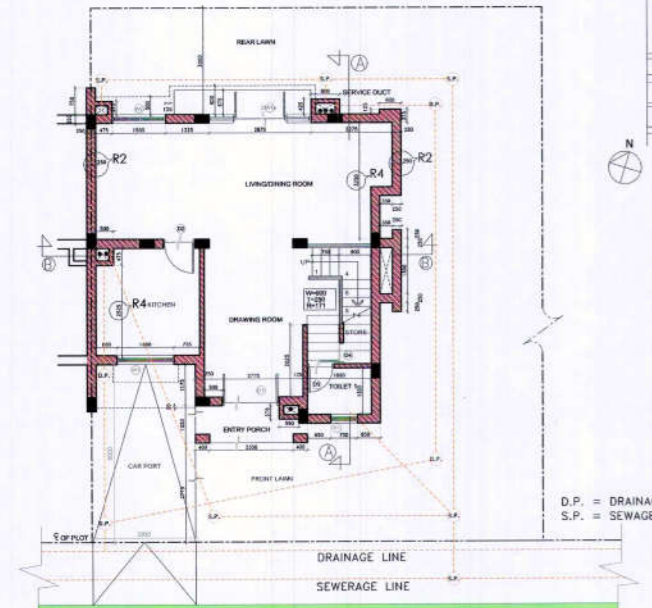
DETAIL OF STAIR SCALE 1:25



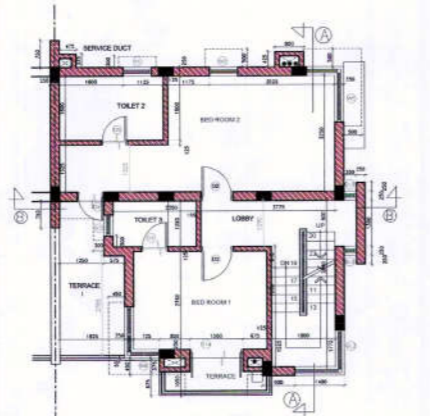
ELEVATION



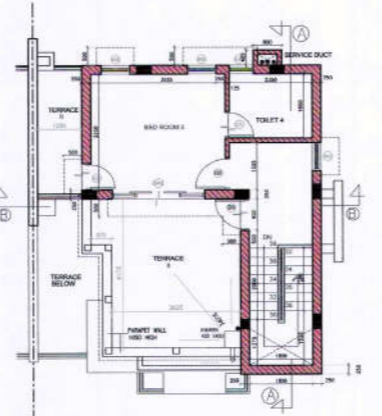
SITE PLAN SCALE 1:1200



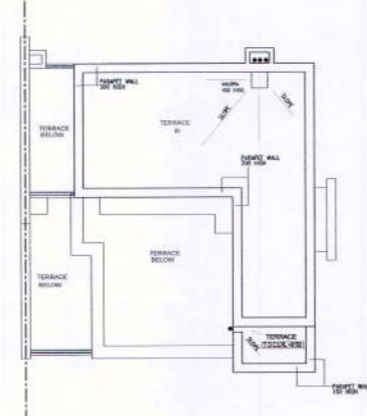
GROUND FLOOR



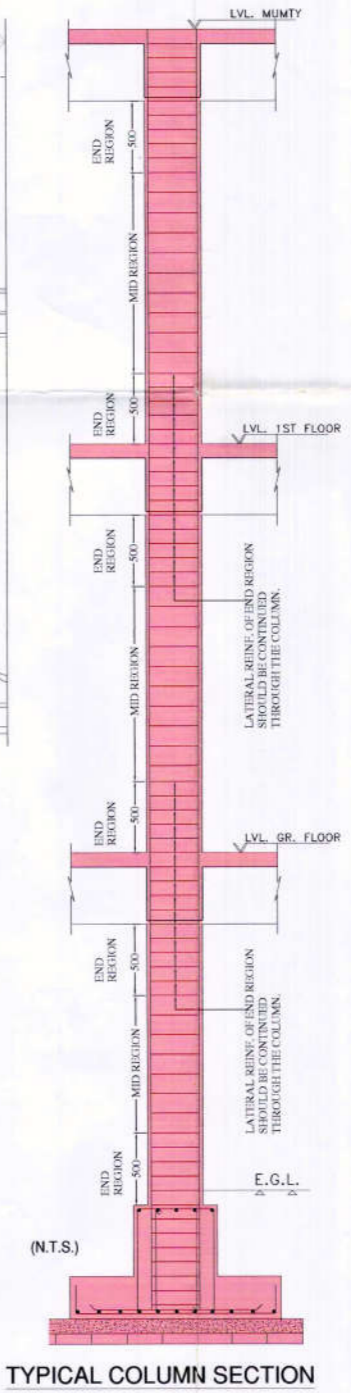
FIRST FLOOR PLAN



SECOND FLOOR PLAN



ROOF PLAN



TYPICAL COLUMN SECTION

**PROVISIONALLY
SANCTIONED**

Before starting any execution, the site plan
sections with the proposed layout and all
the proposed details in the plan
shall be submitted by the owner. The
validity of the sanction is for five years from
the date of sanction and can be renewed
for further five years, only subject to the
existing local Control Regulations and
Building Bye-Laws for Kolkata West
Municipal City.



PARTY'S COPY

Design of all structural members including
that of the foundation shall conform to the
standards as specified in the National Building
Code of latest edition.

The Sanction is valid
up to 02/10/2018.

B. Mukherjee
31/10/2013
Director,
Statutory Planning Unit
K.M.D.A.