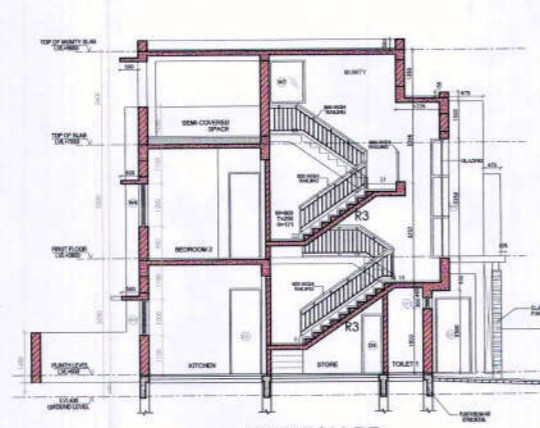
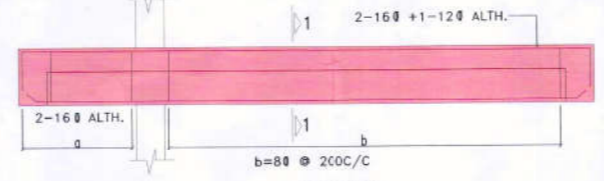


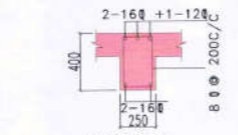
SECTION AA



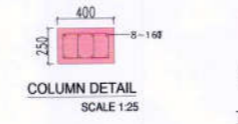
SECTION BB



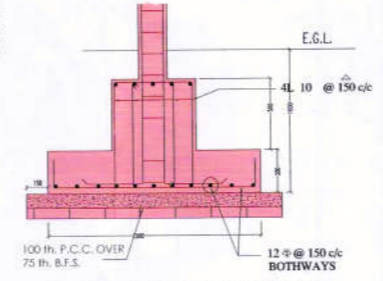
BEAM DETAIL
SCALE 1:25



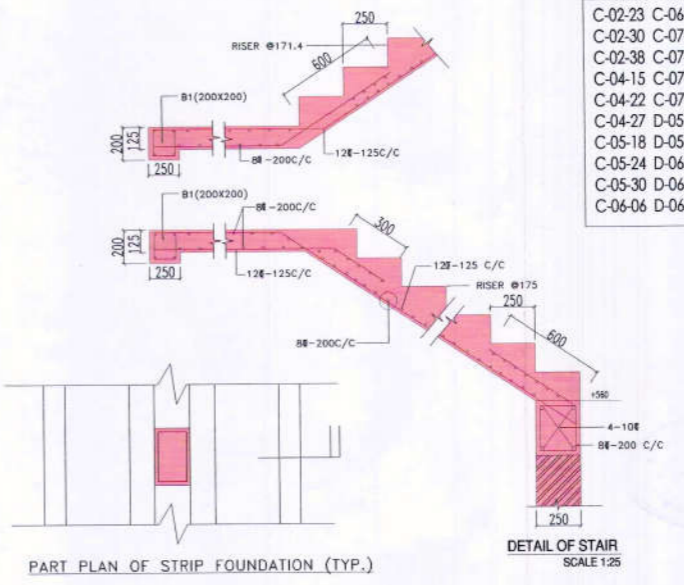
SECTION 1-1
SCALE 1:25



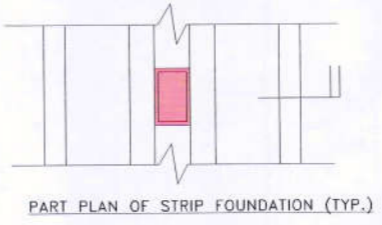
COLUMN DETAIL
SCALE 1:25



TYPICAL SECTION OF STRIP FOUNDATION



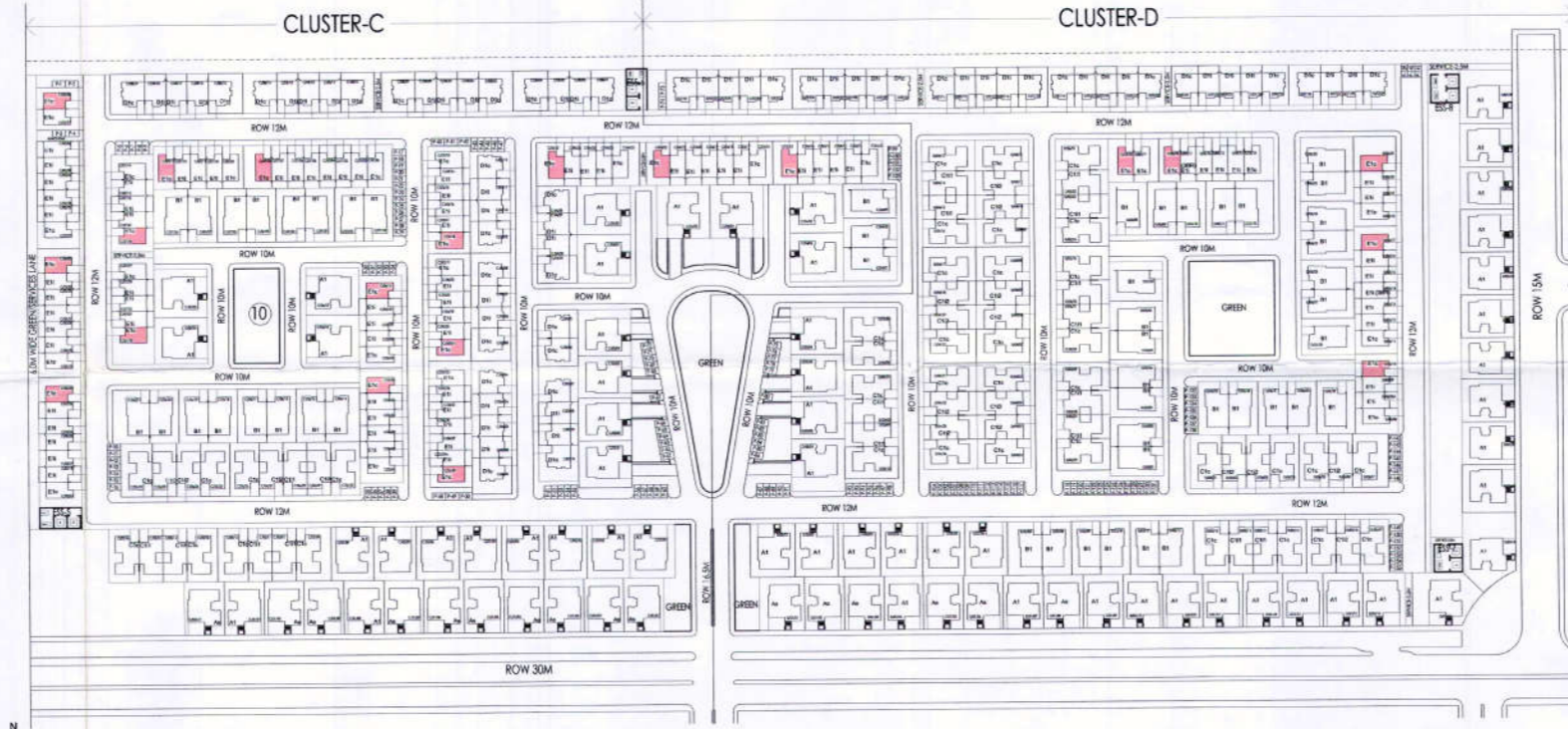
DETAIL OF STAIR
SCALE 1:25



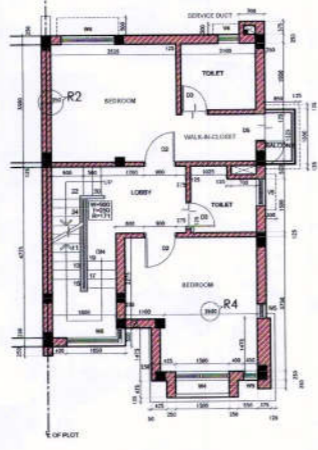
PART PLAN OF STRIP FOUNDATION (TYP.)



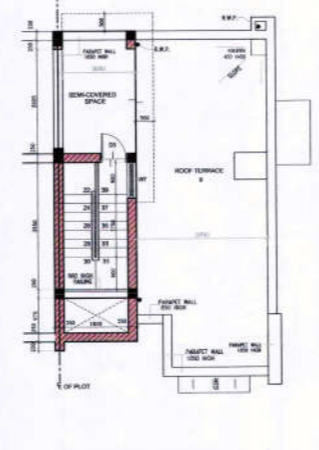
ELEVATION E1



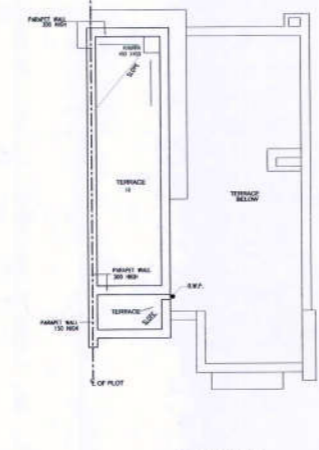
SITE PLAN
SCALE 1:3200



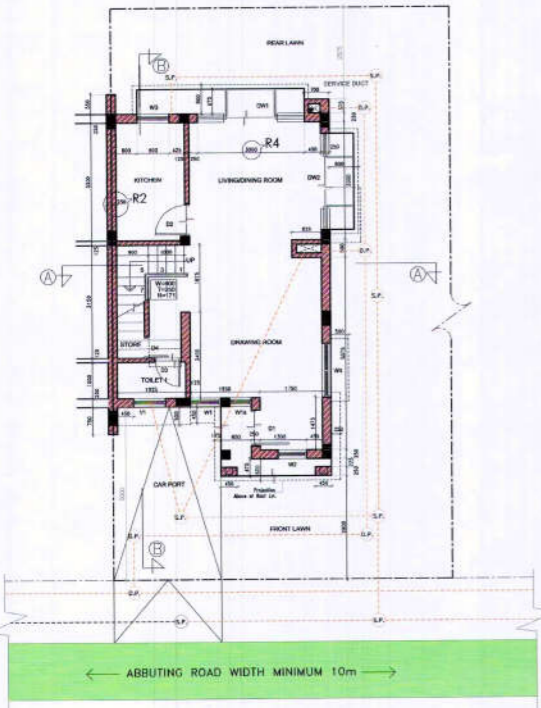
FIRST FLOOR PLAN



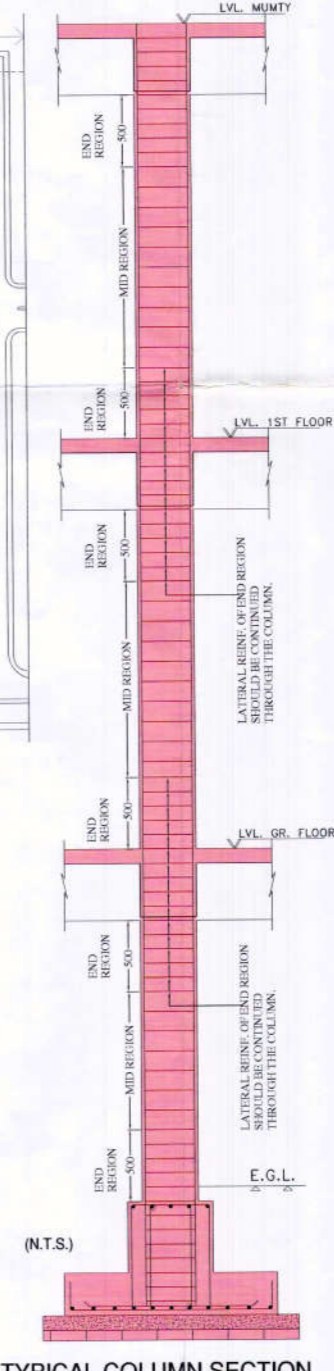
TERRACE PLAN



ROOF PLAN



GROUND FLOOR



TYPICAL COLUMN SECTION

PLOT NO.
C-02-23 C-06-11
C-02-30 C-07-08
C-02-38 C-07-13
C-04-15 C-07-18
C-04-22 C-07-23
C-04-27 D-05-18
C-05-18 D-05-20
C-05-24 D-06-10
C-05-30 D-06-17
C-06-06 D-06-21

KOLKATA WEST INTERNATIONAL CITY

REVISED DRAWING FOR PROPOSED 2 STOREYED RESIDENTIAL BUILDING AT THE PROJECT SITE OF "KOLKATA WEST INTERNATIONAL CITY" AT WEST HOWRAH.

BUILDING TYPE - 6mX15m
CORNER - STANDARD E1(c)

GROUND FLOOR AREA (TYP.) = 54.44 SQM
FIRST FLOOR AREA (TYP.) = 54.45 SQM
TOTAL AREA = 113.09 SQM
No. OF TYPICAL UNITS = 30
TOTAL GROUND FLOOR AREA = 1126.80 Sqm
TOTAL FIRST FLOOR AREA = 1133.00 Sqm
TOTAL TYPE B(H) AREA = 2261.80 Sqm

TYPE	WIDTH	HEIGHT	INTEL	CILL	REMARKS
D1	1000	2100	2100	-	WOODEN FLUSH
D2	900	2100	2100	-	WOODEN FLUSH
D3	750	2100	2100	-	WOODEN FLUSH
D4	600	1650	1650	-	WOODEN FLUSH
D5	750	2100	2100	-	WOODEN FLUSH
DW1	3000	2100	2100	-	ALUMINIUM
DW2	2700	2100	2100	-	ALUMINIUM
W1	850	2000	2100	100	ALUMINIUM
W1a	600	2000	2100	100	ALUMINIUM
W2	800	2000	2100	100	ALUMINIUM
W3	900	1000	2100	1100	ALUMINIUM
W4	1500	1200	2100	900	ALUMINIUM
W5	400	1200	2100	900	ALUMINIUM
W6	500+1650	3350	-	-	ALUMINIUM
W7	1000	1200	2100	900	ALUMINIUM
V1	900	300	2100	1800	ALUMINIUM
V4	600	600	2100	1500	ALUMINIUM
V5	750	600	2100	1500	ALUMINIUM

Kolkata West International City Pvt. Ltd.
Authorised Signatory

SIGNATURE OF OWNER
"I HEREBY CERTIFY WITH FULL RESPONSIBILITY ON THE PLAN ITSELF THAT THE BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF DEVELOPMENT CONTROL REGULATION PREPARED FOR KOLKATA WEST INTERNATIONAL CITY TOWNSHIP PROJECT IN WEST HOWRAH THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ROAD CONFORM WITH THE PLAN AND IT IS BUILDABLE SITE AND NOT TANK OR FILLED UP TANK. THE SITE AND THE PLAN CONFORMS WITH SITE AS PER DEED SITE PLAN. IT IS DEMARCATED BY BOUNDARY WALL AND PILLAR."
SUNIL GAIKHIS
CONSULTING ARCHITECT
Regd No. CA/93/15350

SIGNATURE OF ARCHITECT
"THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT."

SIGNATURE OF STRUCTURAL ENGINEER

- SPECIFICATION:
- ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE MENTIONED.
 - ALL ROOM DIMENSIONS ARE EXCLUDING THE PLASTER THICKNESS.
 - ALL EXTERNAL WALLS ARE 250mm THK UNLESS OTHERWISE MENTIONED, CONSTRUCTED WITH CEMENT-SAND MORTAR (1:4).
 - ALL INTERNAL WALLS ARE 125mm THK UNLESS OTHERWISE MENTIONED, CONSTRUCTED WITH CEMENT-SAND MORTAR (1:4).
 - REINFORCED CEMENT CONCRETE WORK WITH CEMENT-SAND-STONE (1:1.5:3), GRADE OF CONCRETE M20 AND GRADE OF STEEL Fe-550.
 - INTERNAL PLASTER 12mm THK WITH CEMENT SAND MORTAR 1:4.
 - EXTERNAL PLASTER 20mm THK WITH CEMENT SAND MORTAR 1:4.
 - CEILING PLASTER 6mm THK WITH CEMENT SAND MORTAR 1:4.
 - PLAIN CEMENT CONCRETE (P.C.C.) WITH CEMENT-SAND-STONE (1:3:6).
 - WATERPROOFING ON ROOF TERRACE.
 - 40mm THK DAMP PROOF (D.P.) COURSE BELOW WALL.
 - ALL SORTS OF PRECAUTIONARY MEASURES WILL BE TAKEN AT THE TIME OF CONSTRUCTION OF INSPECTION FITS.
 - ASSUMING BEARING CAPACITY OF SOIL 87.5kN/m².
 - 100 LEVEL CONSIDERED AS BENCHMARK LEVEL @ 3.40m.

Revisions	Description	Date
R4	Room Dimension	04 June 13
R3	Reduction in Steps	
R2	Wall thickness	
R1	Building Height	
No.	Description	

SCALE 1:100 (UNLESS OTHERWISE MENTIONED)
KWIC/CLUSTER-2/E1(c)/SANC 23

**PROVISIONALLY
SANCTIONED**

Before starting any erection, the site must conform with the plan sanctioned and all the proposals, requirements in the plan shall be fulfilled by the owner. The validity of the sanction is 5 years from the date of sanction and can be renewed for further five years only subject to the Development Control Regulations and Building Bye Laws for Kolkata West International City.

PARTY'S COPY



Design of all structural members including that of the foundation shall conform to the standard as specified in the National Building Code of latest edition.

The Sanction is valid up to 02/10/2018

[Handwritten Signature]
3/10/2013
Director,
District Planning Unit
KMDA