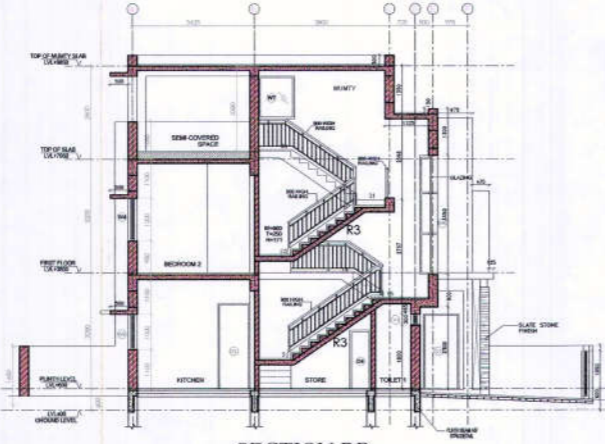
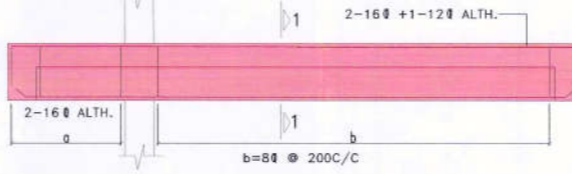


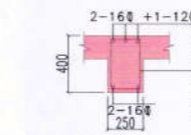
SECTION AA



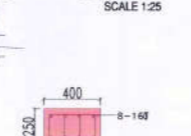
SECTION BB



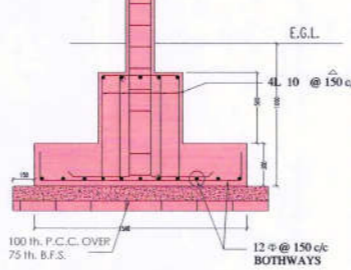
BEAM DETAIL SCALE 1:25



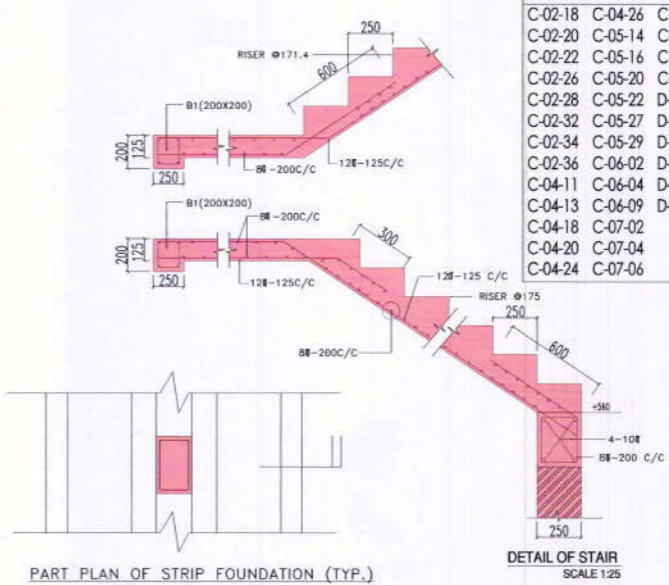
SECTION 1-1 SCALE 1:25



COLUMN DETAIL SCALE 1:25



TYPICAL SECTION OF STRIP FOUNDATION

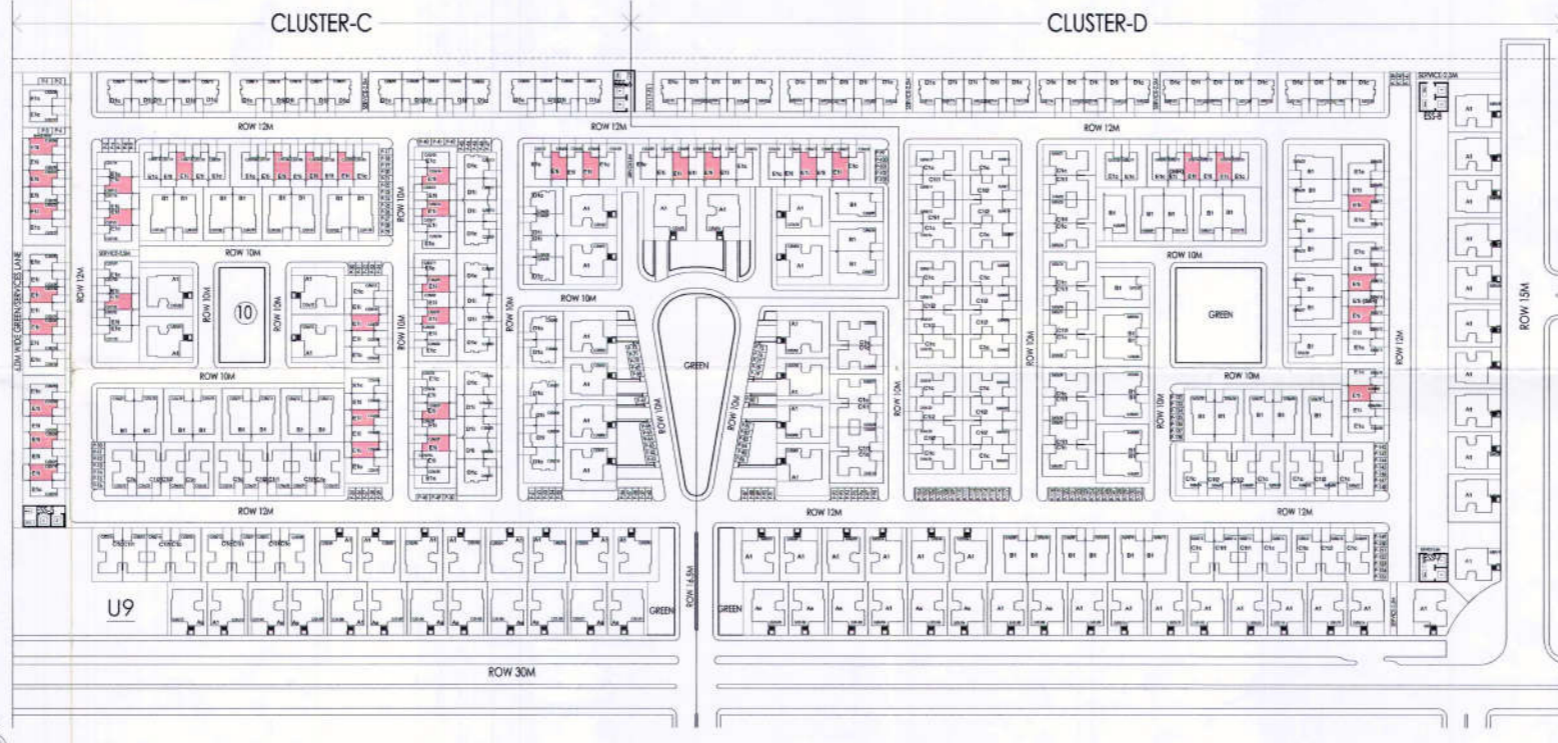


PART PLAN OF STRIP FOUNDATION (TYP.)

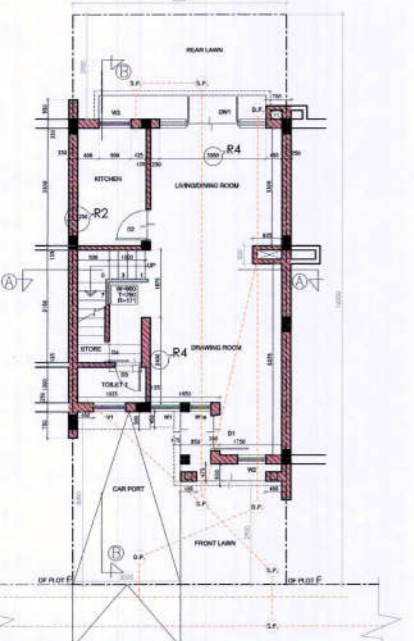
DETAIL OF STAIR SCALE 1:25



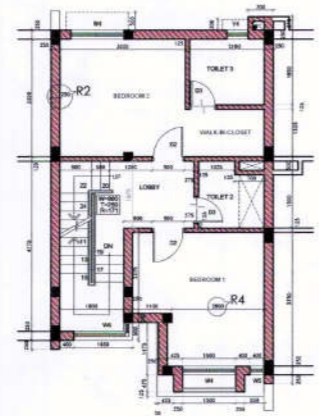
ELEVATION



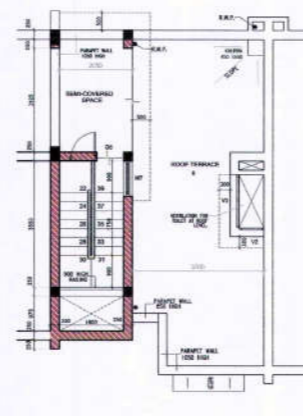
SITE PLAN SCALE 1:1200



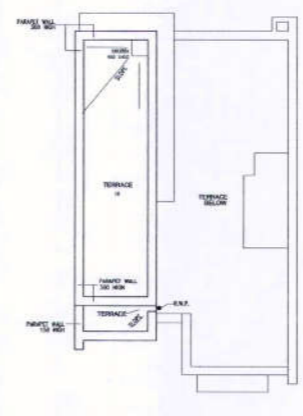
GROUND FLOOR



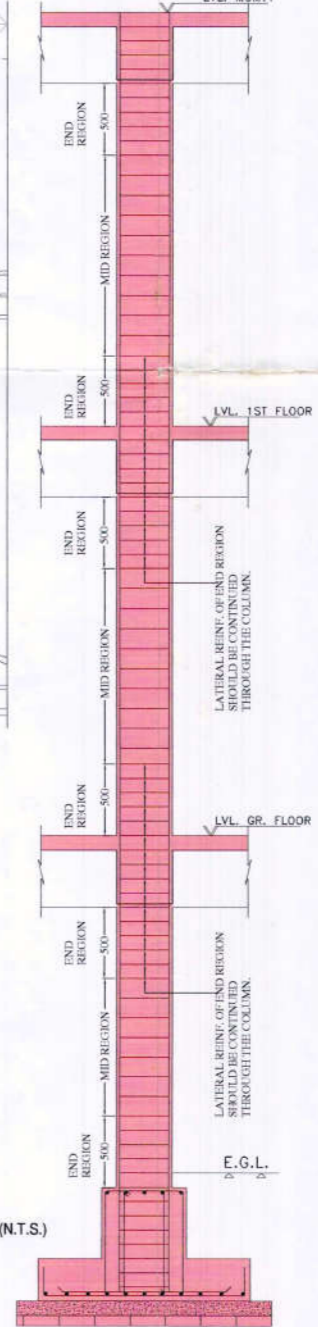
FIRST FLOOR PLAN



TERRACE PLAN



ROOF PLAN



TYPICAL COLUMN SECTION

PLOT NO.

C-02-18	C-04-26	C-07-11
C-02-20	C-05-14	C-07-15
C-02-22	C-05-16	C-07-17
C-02-26	C-05-20	C-07-21
C-02-28	C-05-22	D-05-14
C-02-32	C-05-27	D-05-16
C-02-34	C-05-29	D-06-09
C-02-36	C-06-02	D-06-13
C-04-11	C-06-04	D-06-15
C-04-13	C-06-09	D-06-19
C-04-18	C-07-02	
C-04-20	C-07-04	
C-04-24	C-07-06	

KOLKATA WEST INTERNATIONAL CITY

REVISED DRAWING FOR PROPOSED 2 STOREY RESIDENTIAL BUILDING AT THE PROJECT SITE OF "KOLKATA WEST INTERNATIONAL CITY" AT WEST HOWRAH.

BUILDING TYPE - 6mX15m INTERMEDIATE-STANDARD E1(i)

GROUND FLOOR AREA (G.F.A.) = 55.19 SQM
 FIRST FLOOR AREA (F.F.A.) = 55.12 SQM
 TOTAL AREA = 110.31 SQM

No. OF TYPICAL UNITS = 36

TOTAL GROUND FLOOR AREA = 1986.84 Sqm
 TOTAL FIRST FLOOR AREA = 1984.32 Sqm
 TOTAL TYPE B(I) AREA = 3971.16 Sqm

DOOR WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	UNTEL	CILL	REMARKS
D1	1000	2100	2100	-	WOODEN FLUSH
D2	900	2100	2100	-	WOODEN FLUSH
D3	750	2100	2100	-	WOODEN FLUSH
D4	600	1650	1650	-	WOODEN FLUSH
D5	750	2100	2100	-	WOODEN FLUSH
DW1	3000	2100	2100	-	ALUMINIUM
DW2	2700	2100	2100	-	ALUMINIUM
W1	850	2000	2100	100	ALUMINIUM
W1a	600	2000	2100	100	ALUMINIUM
W2	800	2000	2100	100	ALUMINIUM
W3	900	1000	2100	1100	ALUMINIUM
W4	1500	1200	2100	900	ALUMINIUM
W5	400	1200	2100	900	ALUMINIUM
WF	1500x1650	3350	-	-	ALUMINIUM
W7	1000	1200	2100	900	ALUMINIUM
V1	900	300	2100	1800	ALUMINIUM
V4	600	600	2100	1500	ALUMINIUM
V5	750	600	2100	1500	ALUMINIUM

Kolkata West International City Pvt. Ltd.
 Authorized Signatory

SIGNATURE OF OWNER
 I HEREBY CERTIFY WITH FULL RESPONSIBILITY ON THE PLAN ITSELF THAT THE BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF DEVELOPMENT CONTROL REGULATION PREPARED FOR KOLKATA WEST INTERNATIONAL CITY TOWNSHIP PROJECT IN WEST HOWRAH THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ROAD CONFORM WITH THE PLAN AND IT IS BUILDABLE SITE AND NOT TANK OR FILLED UP TANK. THE SITE AND THE KEY PLAN CONFORMS WITH SITE AS PER DEED SITE PLAN. IT IS DEMARKED BY BOUNDARY WALL AND PILLAR.

SUNIL GAIKHE
 CONSULTING ARCHITECT
 Regd. No. CA/55/16350
 SIGNATURE OF ARCHITECT

THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

SIGNATURE OF STRUCTURAL ENGINEER

- SPECIFICATION:
- ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE MENTIONED.
 - ALL ROOM DIMENSIONS ARE EXCLUDING THE PLASTER THICKNESS.
 - ALL EXTERNAL WALLS ARE 200mm TH. UNLESS OTHERWISE MENTIONED, CONSTRUCTED WITH CEMENT-SAND MORTAR (1:5).
 - ALL INTERNAL WALLS ARE 125mm THICK UNLESS OTHERWISE MENTIONED.
 - CONSTRUCTED WITH CEMENT-SAND MORTAR (1:4).
 - REINFORCED CONCRETE WORK WITH CEMENT-SAND-STONE (1:1.5:3). GRADE OF CONCRETE M20 AND GRADE OF STEEL Fe-550.
 - INTERNAL PLASTER 12MM TH. WITH CEMENT SAND MORTAR 1:5.
 - EXTERNAL PLASTER 20MM TH. WITH CEMENT SAND MORTAR 1:5.
 - CEILING PLASTER 8MM TH. WITH CEMENT SAND MORTAR 1:4.
 - PLAIN CEMENT CONCRETE (P.C.C.) WITH CEMENT-SAND-STONE (1:1.5:3).
 - WATERPROOFING ON ROOF TERRACE.
 - DOWN THE DRAIN PROOF (1:2-4) COURSE BELOW WALL.
 - ALL SORTS OF PRECAUTIONARY MEASURES WILL BE TAKEN AT THE TIME OF CONSTRUCTION OF INSPECTION PITTS.
 - ASSUMING BEARING CAPACITY OF SOIL 8750kN.
 - 400 LEVEL CONSIDERED AS BENCHMARK LEVEL @ 3.400m.

Revisions	Description	Date
R4	Room Dimension	
R3	Reduction in Steps	
R2	Wall thickness	
R1	Building Height	
No.	Description	

SCALE 1:100 (UNLESS OTHERWISE MENTIONED)
 KWIC/CLUSTER-2/E1(i)/SANC 25

**PROVISIONALLY
SANCTIONED**

Before starting any execution, the site must conform with the plan sanctioned and all the proposed requirements in the plan shall be fulfilled by the owner. The validity of the sanction is 5 years from the date of sanction and can be renewed for further five years only subject to the Development Control Regulations and Building Bye Laws for Kolkata West International City.

PARTY'S COPY



Design of all structural members including that of the Reinforcement shall conform to the standard as prescribed by the National Building Code of India.

The Sanction is valid up to 02/10/2018

[Signature]
3/10/2013
Director,
Directorate of Urban Planning and Construction

