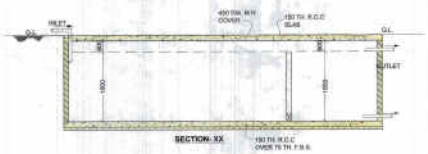
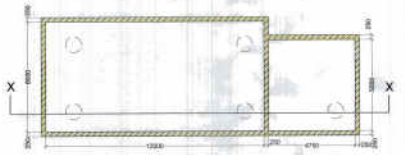
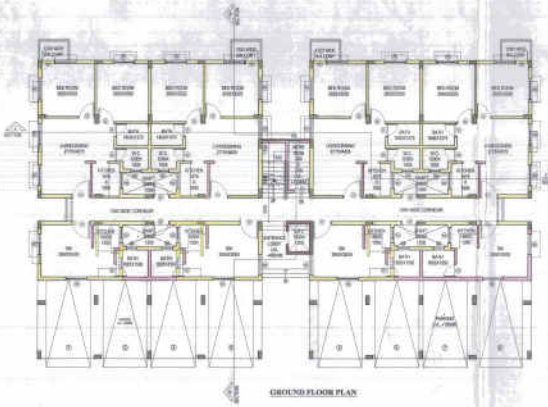
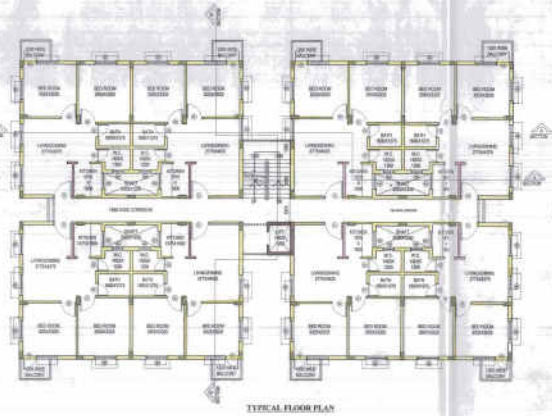




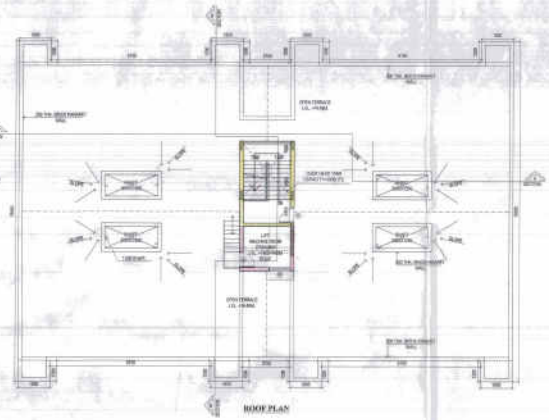
PLAN
DETAILS OF FIRE U.G.R. (50,000 LITRES) & DOMESTIC U.G.R. (1,40,000 LITRES)
SCALE -1:50



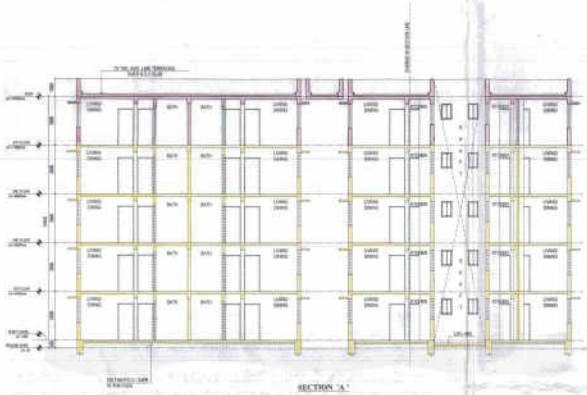
GROUND FLOOR PLAN



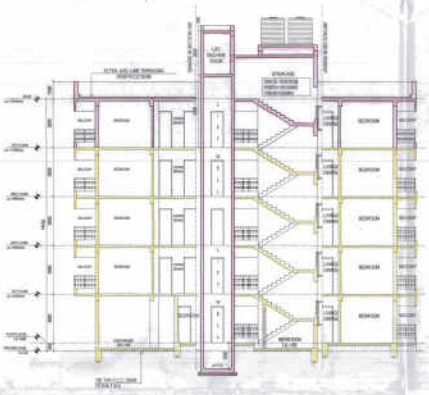
TYPICAL FLOOR PLAN



ROOF PLAN



SECTION 'A'



SECTION 'B'

FRONT ELEVATION

SPECIFICATIONS:-

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- ALL EXTERNAL WALLS ARE 200 th & ALL INTERNAL WALLS ARE 100TH. & 75TH.
- THE DEPTH OF U.G.W.R. SHALL NEVER EXCEED THE DEPTH OF FOUNDATION
- BRICK WORK 200 th. MORTAR 1:6 & BRICK WORK 100 th & 75th. MORTAR 1:4
- ALL SHORTS OF PRECAUTIONARY MEASURE WILL BE TAKEN AT THE TIME OF CONSTRUCTION.
- OTHERS ITEM ARE AS PER I.S. SPECIFICATION.

THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION & SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA & CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECT.

SIGN. OF STRUCTURAL ENGINEER.

SIGN. OF OWNER.

SUBIR KUMAR BASU
Registered Architect
Regn. No.- CA/78/8009

SIGN. OF ARCHITECT.

DOOR / WINDOW OPENING SCHEDULE

SL. NO.	LEGEND	SIZE	LINTEL HT.	SIL HT.	SPECIFICATIONS
1	SD	-	2100	-	SLIDING DOOR
2	D1	1050 x2100	2100	-	FLUSH DOOR
3	D2	900 x2100	2100	-	FLUSH DOOR
4	D3	750 x2100	2100	-	FLUSH DOOR
5	W1	1500 x 1400	2400	1000	CASEMENT WINDOW
6	W2	1200 x 1400	2400	1000	CASEMENT WINDOW
7	W3	900 x1200	2400	1200	CASEMENT WINDOW
8	W4	600 x900	2400	1500	CASEMENT WINDOW
9	W5	450 x900	2400	1500	CASEMENT WINDOW

PROJECT TITLE:-

PROPOSED G+4 STORIED HOUSING COMPLEX AT MOUZA – AMTALA, P.S. BISHNUPUR, J.L. NO. – 73, RS DAG NO. 978, 979, 981, 982 & 985 & LR DAG NO. 1831, 1832, 1837, 1839 & 1836, KHATIAN NO.923, BLOCK – BISHNUPUR-2, GRAM PANCHAYET – CHANDI, DISTRICT – SOUTH 24 PARGANAS.

SHEET TITLE:- 2 BHK UNIT (TYPE 01)

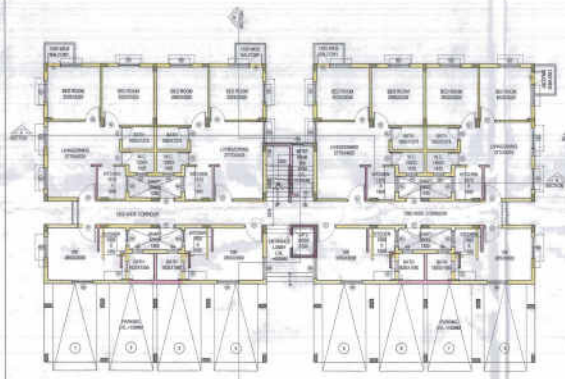
FLOOR PLANS,ROOF PLAN,ELEVATION & SECTIONS

ARCHITECT

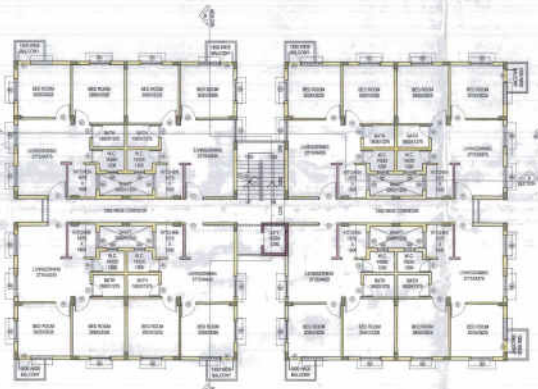
Subir Kumar Basu
CONSULTING ARCHITECTS & ENGINEERS
4, BROAD STREET
KOLKATA-700019

DRAWN BY: MADHUMITA	DEALT BY: INDRANI	CHECKED BY: RAJA BASU
SCALE - 1:100	SHEET NO. - 4 OF 8	DATE : 10.11.2017

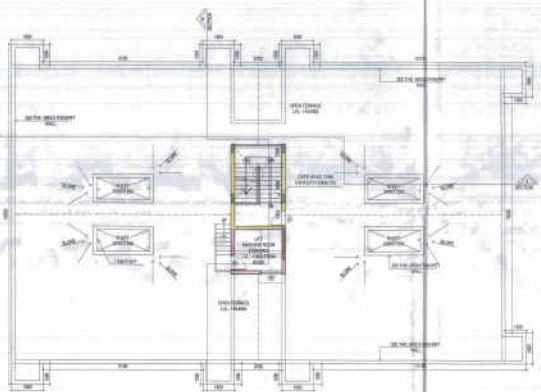
DRAWING NO. - SKB/AMTALA/AR/SANCO/BHK(TYP 01)/04



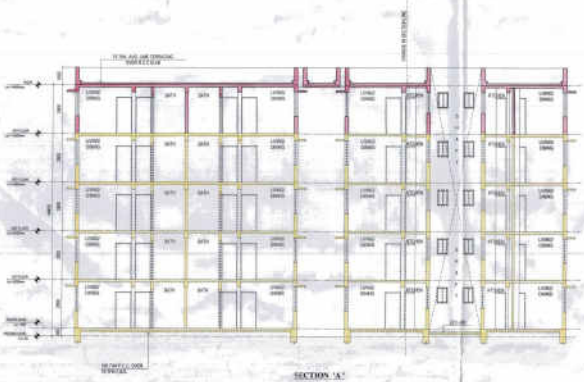
GROUND FLOOR PLAN



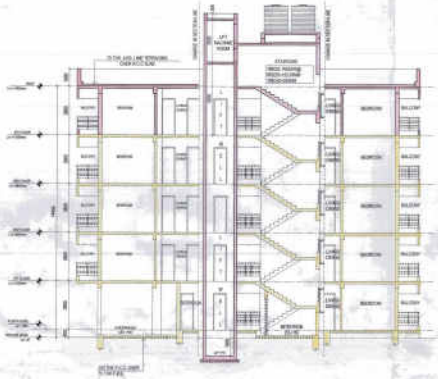
TYPICAL FLOOR PLAN



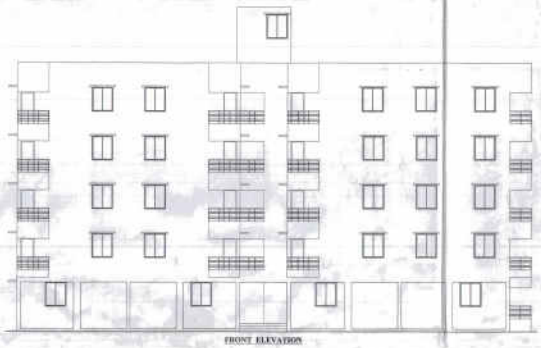
ROOF PLAN



SECTION 'A'



SECTION 'B'



FRONT ELEVATION

SPECIFICATIONS:-

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- ALL EXTERNAL WALLS ARE 200 th.& ALL INTERNAL WALLS ARE 100TH. & 75TH.
- THE DEPTH OF U.G.W.R. SHALL NEVER EXCEED THE DEPTH OF FOUNDATION.
- BRICK WORK 200 th. MORTAR 1:6 & BRICK WORK 100 th & 75th. MORTAR 1:4
- ALL SHORTS OF PRECAUTIONARY MEASURE WILL BE TAKEN AT THE TIME OF CONSTRUCTION.
- OTHERS ITEM ARE AS PER I.S. SPECIFICATION.

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SANJIVE PARIKH

SIGN. OF STRUCTURAL ENGINEER.

SIGN. OF OWNER.

SUBIR KUMAR BASU
Registered Architect
Regd. No.: CA/1989/23

SIGN. OF ARCHITECT.

DOOR / WINDOW OPENING SCHEDULE

SL. NO.	LEGEND	SIZE	LINTEL HT.	SIL HT.	SPECIFICATIONS
1	SD	-	2100	-	SLIDING DOOR
2	D1	1050 x2100	2100	-	FLUSH DOOR
3	D2	900 x2100	2100	-	FLUSH DOOR
4	D3	750 x2100	2100	-	FLUSH DOOR
5	W1	1500 x 1400	2400	1000	CASEMENT WINDOW
6	W2	1200 x 1400	2400	1000	CASEMENT WINDOW
7	W3	900 x1200	2400	1200	CASEMENT WINDOW
8	W4	800 x900	2400	1500	CASEMENT WINDOW
9	W5	450 x900	2400	1500	CASEMENT WINDOW

PROJECT TITLE:-

PROPOSED G+4 STORIED HOUSING COMPLEX AT MOUZA – AMTALA, P.S. BISHNUPUR, J.L. NO. – 73, RS DAG NO. 978, 979, 981, 982 & 985 & LR DAG NO. 1831, 1832, 1837, 1839 & 1836, KHATIAN NO.923, BLOCK – BISHNUPUR-2, GRAM PANCHAYET – CHANDI, DISTRICT – SOUTH 24 PARGANAS.

SHEET TITLE:- 2 BHK UNIT (TYPE 02)

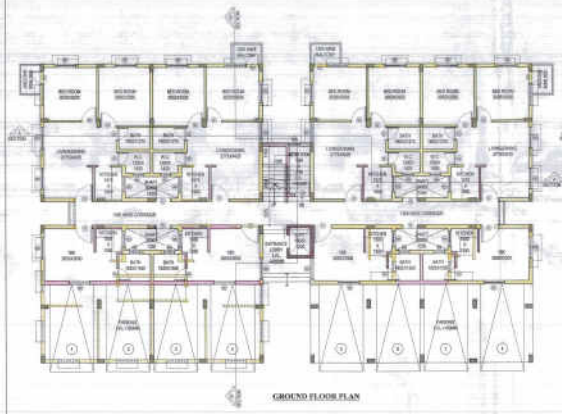
FLOOR PLANS,ROOF PLAN,ELEVATION & SECTIONS

ARCHITECT

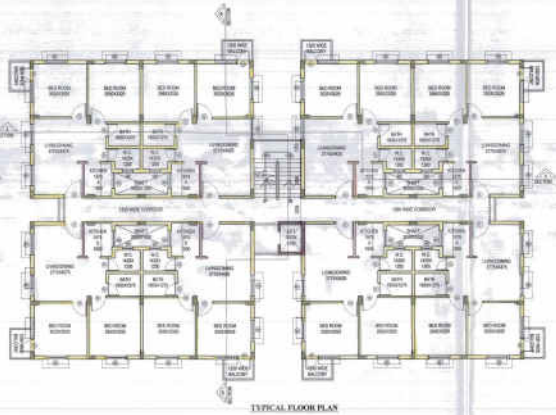
Subir Kumar Basu
CONSULTING ARCHITECTS & ENGINEERS
4, BROAD STREET
KOLKATA-700019

DRAWN BY: MADHUMITA	DEALT BY: INDRANI	CHECKED BY: RAJA BASU
SCALE - 1:100	SHEET NO. - 5 OF 8	DATE : 10.11.2017

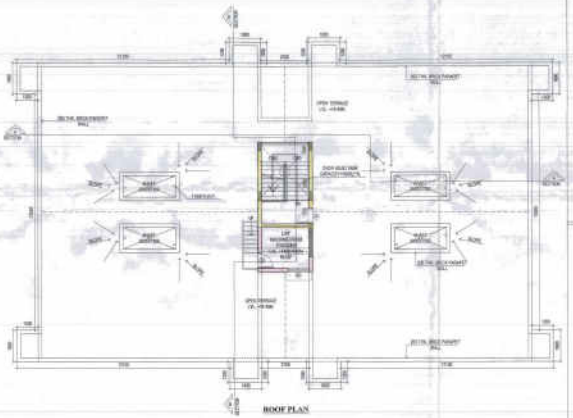
DRAWING NO. - SKB/AMTALA/ARS/ANC/2BHK(TYP 02)/05



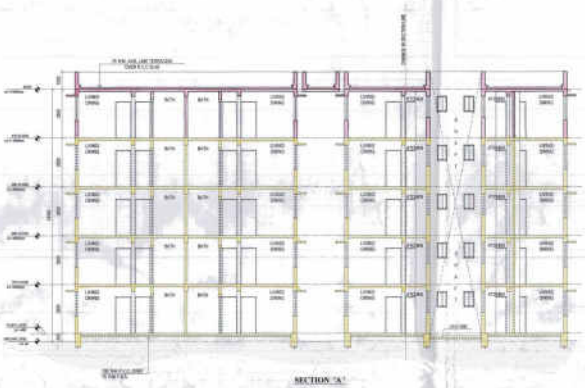
GROUND FLOOR PLAN



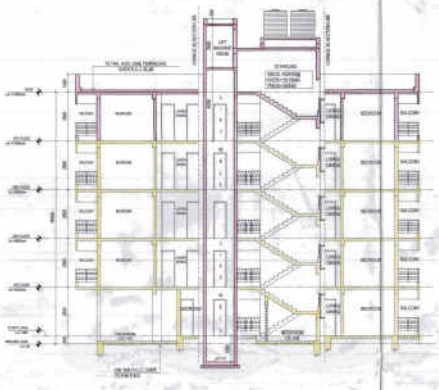
TYPICAL FLOOR PLAN



ROOF PLAN



SECTION 'A'



SECTION 'B'

FRONT ELEVATION

SPECIFICATIONS:-

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- ALL EXTERNAL WALLS ARE 200 th & ALL INTERNAL WALLS ARE 100TH. & 75TH.
- THE DEPTH OF U.G.W.R. SHALL NEVER EXCEED THE DEPTH OF FOUNDATION.
- BRICK WORK 200 th. MORTAR 1:6 & BRICK WORK 100 th & 75th. MORTAR 1:4
- ALL SHORTS OF PRECAUTIONARY MEASURE WILL BE TAKEN AT THE TIME OF CONSTRUCTION.
- OTHERS ITEM ARE AS PER I.S. SPECIFICATION.

THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION & SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME. CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA & CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECT.

SANJIV J. PARIKH

SIGN. OF STRUCTURAL ENGINEER.

SIGN. OF OWNER.

SUBIR KUMAR BASU
Registered Architect
Regn. No. - CA/79/4375

SIGN. OF ARCHITECT.

DOOR / WINDOW OPENING SCHEDULE

SL. NO.	LEGEND	SIZE	LINTEL HT.	SIL HT.	SPECIFICATIONS
1	SD	-	2100	-	SLIDING DOOR
2	D1	1050 x2100	2100	-	FLUSH DOOR
3	D2	900 x2100	2100	-	FLUSH DOOR
4	D3	750 x2100	2100	-	FLUSH DOOR
5	W1	1500 x 1400	2400	1000	CASEMENT WINDOW
6	W2	1200 x 1400	2400	1000	CASEMENT WINDOW
7	W3	900 x1200	2400	1200	CASEMENT WINDOW
8	W4	600 x900	2400	1500	CASEMENT WINDOW
9	W5	450 x900	2400	1500	CASEMENT WINDOW

PROJECT TITLE:-

PROPOSED G+4 STORIED HOUSING COMPLEX AT MOUZA – AMTALA, P.S. BISHNUPUR, J.L. NO. – 73, RS DAG NO. 978, 979, 981, 982 & 985 & LR DAG NO. 1831, 1832, 1837, 1839 & 1836, KHATIAN NO.923, BLOCK – BISHNUPUR-2, GRAM PANCHAYET – CHANDI, DISTRICT – SOUTH 24 PARGANAS.

SHEET TITLE:- 2 BHK UNIT (TYPE 03)

FLOOR PLANS,ROOF PLAN,ELEVATION & SECTIONS

ARCHITECT

Subir Kumar Basu
CONSULTING ARCHITECTS & ENGINEERS
4, BROAD STREET
KOLKATA-700019

DRAWN BY: MADHUMITA	DEALT BY: INDRANI	CHECKED BY: RAJA BASU
SCALE - 1:100	SHEET NO. - 8 OF 8	DATE - 10.11.2017

DRAWING NO. - SKB/AMTALA/AR/SANC/3BHK(TYP 03)/08

- The sanction is valid for 3 years from date of sanctioning.
- Information required by the applicant to file intimation
  Commencement of work.
  Completion of structural work up to plinth.
  Completion of work.
- No rain water pipe should be fixed or discharge on Road or Footpath.
- The construction should be carried out as per specification of I.S. Code and sanctioned plan under the supervision of qualified engineers.
- Construction of garbage vat, soak pit & waste water should be done by the owners.
- Any deviation of the sanctioned plan shall were penalties.

- Noted and recommended for sanction the building plan No. 432/562/Revised
  upto G+IV Height 19.00 mt. subject to the condition.
- Before starting any construction, the site must conform with the plans Sanctioned and all the condition as proposed in the plan should be fulfilled.
- All building materials necessary for construction should conform to standards as laid down in the Code of India.
- Necessary steps should be taken for safety of lives of the adjoining public and property during the construction.
- Construction site should be maintained to prevent mosquito breeding.
- Design of all Structural members including that of the foundations should conform to standard specified in the B.I.S. of India.
- The sanction is valid for 3 years from date of sanctioning.
- Information required by the applicant to file intimation
  Commencement of work.
  Completion of structural work up to plinth.
  Completion of work.
- No rain water pipe should be fixed or discharged on Road or Footpath.
- The construction should be carried out as per specification of I.S. Code and sanctioned plan under the supervision of qualified engineers.
- Construction of garbage vat, soak pit & waste water should be done by the owners.
- Any deviation of the sanctioned plan shall were penalties.

ASSISTANT ENGINEER
South 24 Pgs. Z.P.

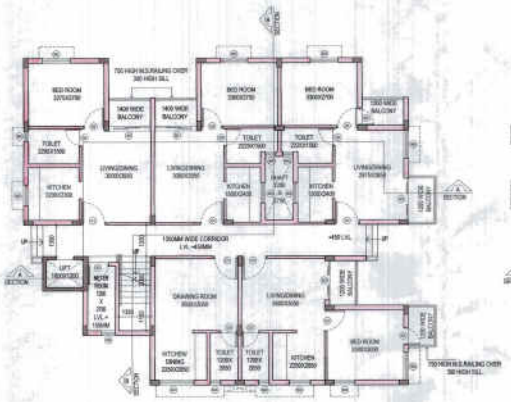
Executive Engineer
South 24 Pgs. Z.P.

Sanctioned Should be obtained from the concern Gram Panchayat

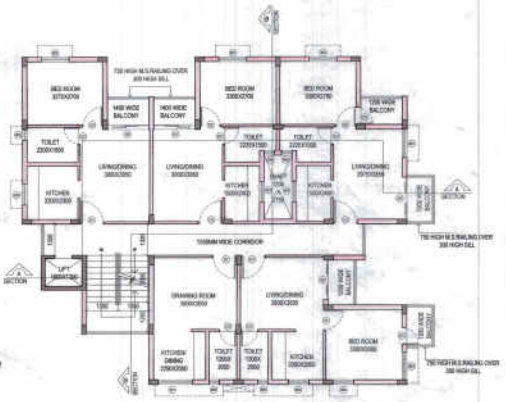
Assistant Engineer
South 24 Pgs. Z.P.

Chief Engineer
South 24 Pgs. Z.P.

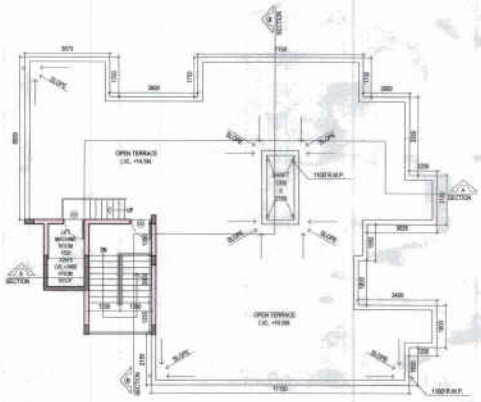
Prodhan
Chandi Gram Panchayat
Dakshin 24 Parganas (South)



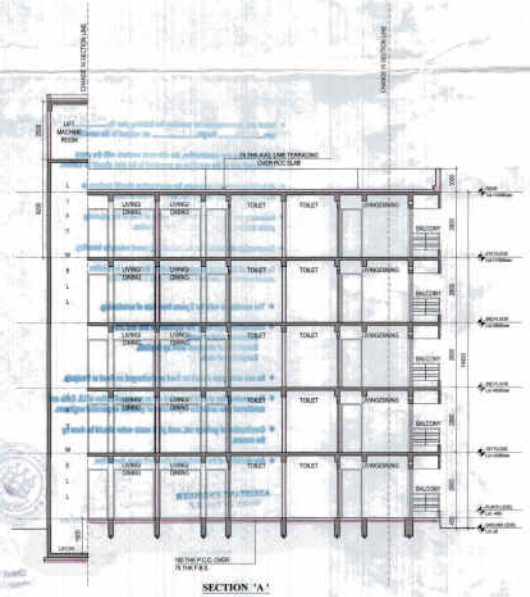
GROUND FLOOR PLAN



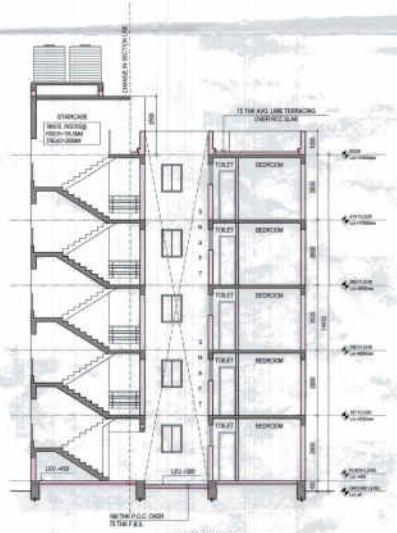
TYPICAL FLOOR PLAN



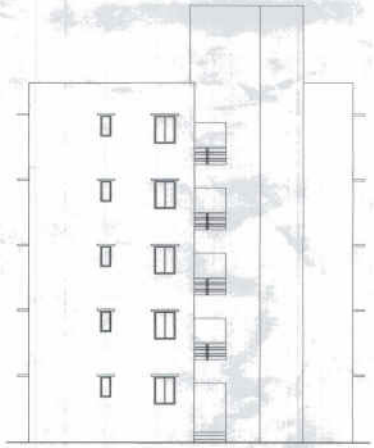
ROOF PLAN



SECTION 'A'



SECTION 'B'



FRONT ELEVATION

SPECIFICATIONS:-

- ALL DIMENSIONS ARE IN M.M.UNLESS UNLESS OTHERWISE STATED
- ALL EXTERNAL WALLS ARE 200 th & ALL INTERNAL WALLS ARE 100TH & 75TH.
- THE DEPTH OF U.G.WR. SHALL NEVER EXCEED THE DEPTH OF FOUNDATION.
- BRICK WORK 200 th MORTAR 1:6 & BRICK WORK 100 th & 75th MORTAR 1:4
- ALL SHORTS OF PRECAUTIONARY MEASURE WILL BE TAKEN AT THE TIME OF CONSTRUCTION.
- OTHERS ITEM ARE AS PER I.S. SPECIFICATION.

THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION & SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA & CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECT.

SANJIV G. PAREKH
M.E.-(STRUCT.),M.E.-(CONST.ENG.),
B. C. E., FIE-(F-018282-4)
C. S. E. NO. 104 (I) S. M. C.

SIGN. OF STRUCTURAL ENGINEER.

DECORATIVE STONE (INDIA) PVT. LTD.
Director

SIGN. OF OWNER.

SUBIR KUMAR BASU
Registered Architect
Regn. No.- CA/79/4375

SIGN. OF ARCHITECT.

DOOR / WINDOW OPENING SCHEDULE

SL. NO.	LEGEND	SIZE	LINTEL HT.	SIL HT.	SPECIFICATIONS
1	SD	-	2100	-	SLIDING DOOR
2	D1	1050 x2100	2100	-	FLUSH DOOR
3	D2	900 x2100	2100	-	FLUSH DOOR
4	D3	750 x2100	2100	-	FLUSH DOOR
5	W1	1500 x 1400	2400	1000	CASEMENT WINDOW
6	W2	1200 x 1400	2400	1000	CASEMENT WINDOW
7	W3	900 x1200	2400	1200	CASEMENT WINDOW
8	W4	600 x900	2400	1500	CASEMENT WINDOW
9	W5	450 x900	2400	1500	CASEMENT WINDOW

PROJECT TITLE:-

PROPOSED G+4 STORIED HOUSING COMPLEX AT MOUZA – AMTALA, P.S. BISHNUPUR, J.L. NO. – 73, RS DAG NO. 978, 979, 981, 982 & 985 & LR DAG NO. 1831, 1832, 1837, 1839 & 1836, KHATIAN NO.923, BLOCK – BISHNUPUR-2, GRAM PANCHAYET – CHANDI, DISTRICT – SOUTH 24 PARGANAS.

SHEET TITLE- 1 BHK UNIT

FLOOR PLANS,ROOF PLAN,ELEVATION & SECTIONS

ARCHITECT

Subir Kumar Basu
CONSULTING ARCHITECTS & ENGINEERS
4, BROAD STREET
KOLKATA-700019

DRAWN BY: MADHUMITA	DEALT BY: INDRANI	CHECKED BY: RAJA BASU
SCALE : 1:100	SHEET NO. - 8 OF 8	DATE : 10.11.2017

DRAWING NO. - DEBAMTALA/KSANCTISHUB

- Vetted and recommended for sanction the building plan No. 432/502/Revised upto G+IV Height 14.00 mt. subject to the condition.
- Before starting any construction, the site must conform with the plans Sanctioned and all the condition as proposed in the plan should be fulfilled.
- All building materials necessary for construction should conform to stand[illegible] Code of India.
- Necessary steps [illegible] for safety of lives of the adjoining public and [illegible] during construction.
- Construction site should be maintained to prevent mosquito breeding.
- Design of all Structural members including that of the foundation should conform to standard specified in the N.B.C. of India.
- The sanction is valid for 3 years from date of sanctioning.
- Information required by the applicant to this end are:-
  Commencement of work.
  Completion of structural work up to plinth.
  Completion of work.
- No rain water pipe should be fixed or discharged on Road or Footpath.
- The construction should be carried out as per specification of I.S. Code and sanctioned plan under the supervision of qualified empanelled engineers.
- Construction of garbage vat, soak pit & waste water should be done by the owners.
- Any deviation of the sanctioned plan shall mean demolition.

ASSISTANT ENGINEER
South 24 Pgs. Z.P.

District Engineer
South 24 Pgs. Z.P.

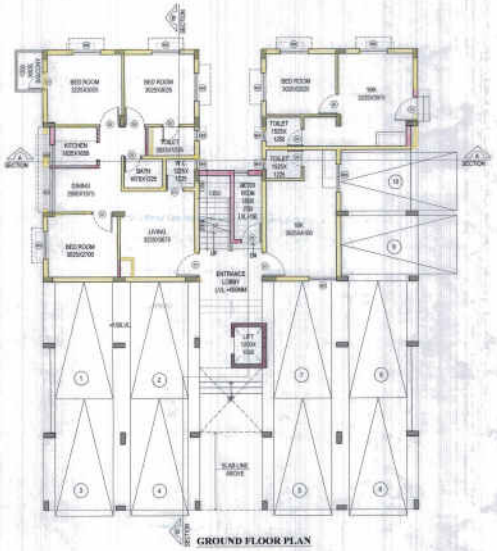
Sanctioned Should be obtained from the concern Gram Panchayat

Assistant Engineer
South 24 Pgs. Z.P

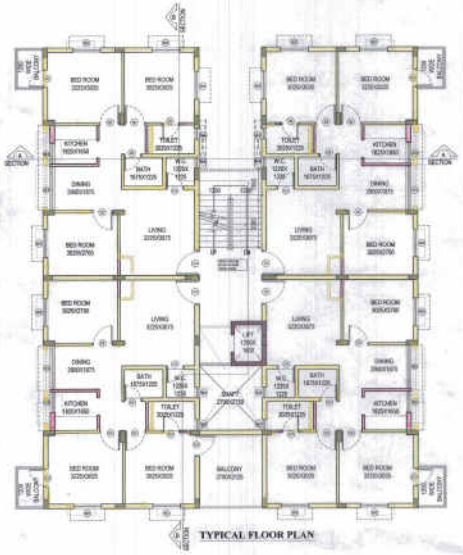
District Engineer
South 24 Pgs. Z.P

CHANDI GRAM PANCHAYAT
Bishnupur-II Panchayat Samiti

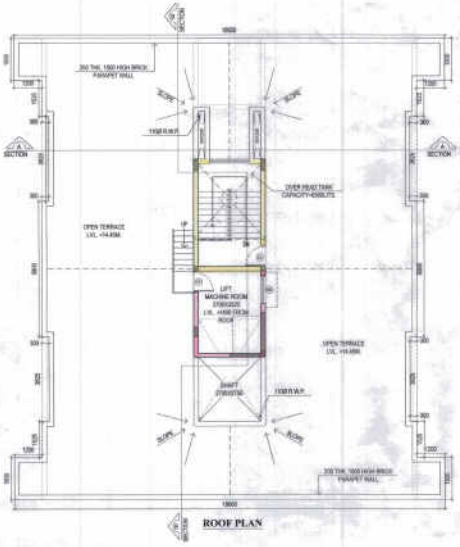
Prodhan
Chandi Gram Panchayat
Bishnupur II Panchayat Samiti



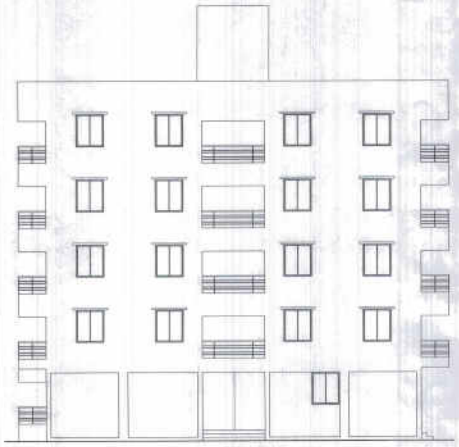
GROUND FLOOR PLAN



TYPICAL FLOOR PLAN

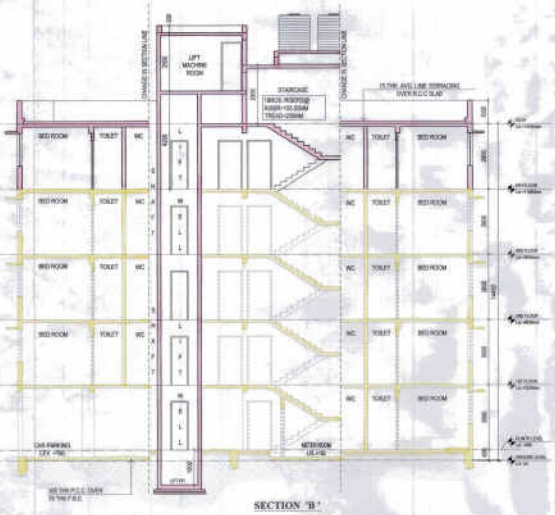


ROOF PLAN



FRONT ELEVATION

SECTION 'A'



SECTION 'B'

SPECIFICATIONS:-

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- ALL EXTERNAL WALLS ARE 200 th & ALL INTERNAL WALLS ARE 100TH & 75TH.
- THE DEPTH OF U.G.W.R. SHALL NEVER EXCEED THE DEPTH OF FOUNDATION.
- BRICK WORK 200 th. MORTAR 1:6 & BRICK WORK 100 th & 75th. MORTAR 1:4
- ALL SHORTS OF PRECAUTIONARY MEASURE WILL BE TAKEN AT THE TIME OF CONSTRUCTION.
- OTHERS ITEM ARE AS PER I.S. SPECIFICATION.

THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION & SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA & CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECT.

SANJIV J. PAREKH
M.E. (STRUCT.), MBA (FINANCE)
B. C. E., FIE, FIV, FIBC, FIAE
E. N. E. NO. 194 (I) K. M. C.

SIGN. OF STRUCTURAL ENGINEER.

DECORATIVE STONE (INDIA) PVT. LTD.
Director

SIGN. OF OWNER.

SUBIR KUMAR BASU
Registered Architect
Regn. No.- CA/79/4375

SIGN. OF ARCHITECT.

DOOR / WINDOW OPENING SCHEDULE

SL. NO.	LEGEND	SIZE	LINTEL HT.	SIL HT.	SPECIFICATIONS
1	SD	-	2100	-	SLIDING DOOR
2	D1	1050 x2100	2100	-	FLUSH DOOR
3	D2	900 x2100	2100	-	FLUSH DOOR
4	D3	750 x2100	2100	-	FLUSH DOOR
5	W1	1875x1800	2400	1000	CASEMENT WINDOW
6	W2	1200 x 1400	2400	1000	CASEMENT WINDOW
7	W3	900 x1200	2400	1200	CASEMENT WINDOW
8	W4	450 x900	2400	1500	CASEMENT WINDOW

PROJECT TITLE:-

PROPOSED G+4 STORIED HOUSING COMPLEX AT MOUZA – AMTALA, P.S. BISHNUPUR, J.L. NO. – 73, RS DAG NO. 978, 979, 981, 982 & 985 & LR DAG NO. 1831, 1832, 1837, 1839 & 1836, KHATIAN NO.923, BLOCK – BISHNUPUR-2, GRAM PANCHAYET – CHANDI, DISTRICT – SOUTH 24 PARGANAS.

SHEET TITLE:- 3 BHK UNIT (TYPE 01)

FLOOR PLANS,ROOF PLAN,ELEVATION & SECTIONS

ARCHITECT

Subir Kumar Basu

CONSULTING ARCHITECTS & ENGINEERS
4, BROAD STREET
KOLKATA-700019

DRAWN BY: MADHUMITA	DEALT BY: INDRANI	CHECKED BY: RAJA BASU
SCALE : 1:100	SHEET NO. - 2 OF 9	DATE : 10.11.2017

DRAWING NO. - SKB/AMTALA/ARS/MC/3BHK/TYP 01/02

- Vetted and recommended for sanction the building plan No. 432/562/Revised upto G+IV Height 14.00 mt. subject to the condition.
- Before starting any construction, the site must conform with the plans Sanctioned and all the condition as proposed in the plan should be fulfilled.
- All building materials necessary for construction should conform to standards specified in the National Building Code of India.
- Necessary steps should be taken for safety of lives of the adjoining public and/private property during construction.
- Construction site should be maintained to prevent mosquito breeding.
- Design of all Structural members including that of the foundation should conform to standard specified in the N.B.C. of India.
- The sanction is valid for 3 years from date of sanctioning.
- Information required by the applicant to this end are:-
  Commencement of work.
  Completion of structural work up to plinth.
  Completion of work.
- No rain water pipe should be fixed or discharged on Road or Footpath.
- The construction should be carried out as per specification of I.S. Code and sanctioned plan under the supervision of qualified empanelled engineers.
- Construction of garbage vat, soak pit & waste water should be done by the owners.
- Any deviation of the sanctioned plan shall mean cancellation.

7-8-2018
ASSISTANT ENGINEER
Z.P.

12-07-18
District Engineer
South 24 Pgs. Z.P.

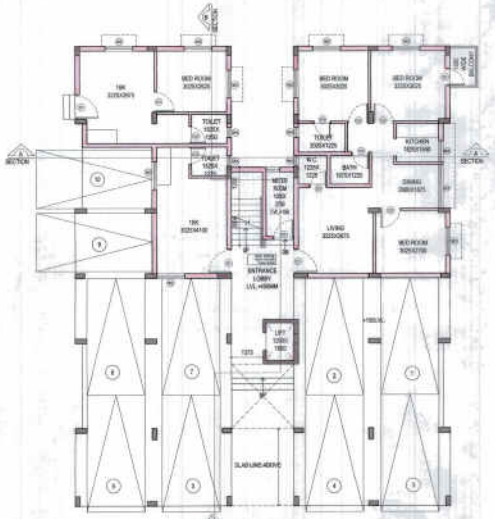
Sanctioned Should be obtained from the concern Gram Panchayat

7-8-2018
Assistant Engineer
South 24 Pgs. Z.P.

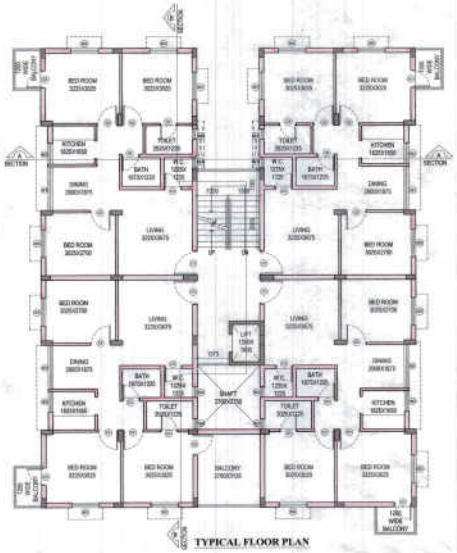
12-07-18
District Engineer
South 24 Pgs. Z.P.

CHANDI GRAM PANCHAYAT
Bishnupur-II Panchayat Samiti
South 24 Pgs.

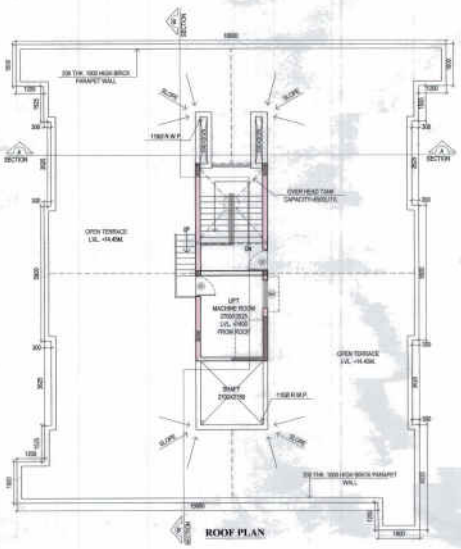
Prodhan
Chandi Gram Panchayat
Bishnupur II Panchayat Samiti



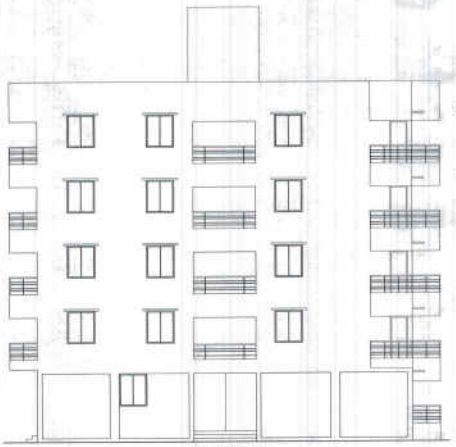
GROUND FLOOR PLAN



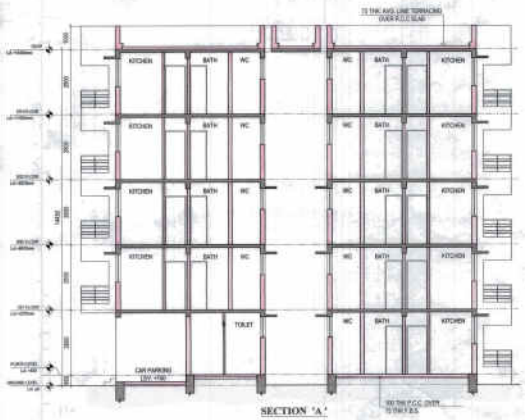
TYPICAL FLOOR PLAN



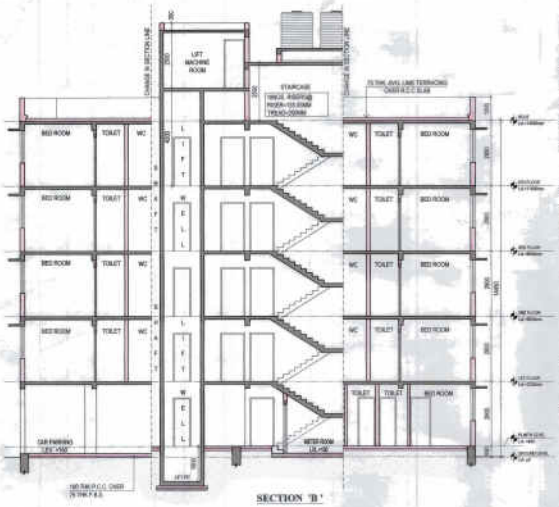
ROOF PLAN



FRONT ELEVATION



SECTION 'A'



SECTION 'B'

SPECIFICATIONS:-

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- ALL EXTERNAL WALLS ARE 200 th & ALL INTERNAL WALLS ARE 100Th & 75TH.
- THE DEPTH OF U.G.W.R. SHALL NEVER EXCEED THE DEPTH OF FOUNDATION.
- BRICK WORK 200 th, MORTAR 1:6 & BRICK WORK 100 th & 75th, MORTAR 1:4
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SANJIV J. PAREKH.
M.E. - STRUCTURAL ENGINEERING
R. G. NO. [illegible]
K.S.E. NO. 104 / G.K. M.E.

SIGN. OF STRUCTURAL ENGINEER.

DECORATIVE STONE (INDIA) PVT. LTD.
DIRECTOR

SIGN. OF OWNER.

SUBIR KUMAR BASU
Registered Architect
Regn. No. - CA/79/4378

SIGN. OF ARCHITECT.

DOOR / WINDOW OPENING SCHEDULE

SL. NO.	LEGEND	SIZE	LINTEL HT.	SIL HT.	SPECIFICATIONS
1	SD		2100	-	SLIDING DOOR
2	D1	1000 x2100	2100	-	FLUSH DOOR
3	D2	900 x2100	2100	-	FLUSH DOOR
4	D3	750 x2100	2100	-	FLUSH DOOR
5	W1	1875x1900	2400	1000	CASEMENT WINDOW
6	W2	1200 x 1400	2400	1000	CASEMENT WINDOW
7	W3	900 x1200	2400	1200	CASEMENT WINDOW
8	W4	450 x900	2400	1500	CASEMENT WINDOW

PROJECT TITLE:-

PROPOSED G+4 STORIED HOUSING COMPLEX AT MOUZA – AMTALA, P.S. BISHNUPUR, J.L. NO. – 73, RS DAG NO. 978, 979, 981, 982 & 985 & LR DAG NO. 1831, 1832, 1837, 1839 & 1836, KHATIAN NO.923, BLOCK – BISHNUPUR-2, GRAM PANCHAYET – CHANDI, DISTRICT – SOUTH 24 PARGANAS.

SHEET TITLE:- 3 BHK UNIT (TYPE 02)

FLOOR PLANS,ROOF PLAN,ELEVATION & SECTIONS

ARCHITECT

Subir Kumar Basu
CONSULTING ARCHITECTS & ENGINEERS
4, BROAD STREET
KOLKATA-700019

DRAWN BY: MADHUMITA	DEALT BY: MORAN	CHECKED BY: RAJA BASU
SCALE - 1:100	SHEET NO. - 2 OF 8	DATE: 16.11.2017

DRAWING NO. - SKB/AMTALA/RS/ANC/3BHK/TYP-02/03

- Vetted and recommended for sanction the building plan No. 432/562/Revised upto G+IV Height 14.00 mt. subject to the condition.
- Before starting any construction, the site must conform with the plans Sanctioned and all the condition as proposed in the plan should be fulfilled.
- All building materials necessary for construction should conform to standards specified in the National Building Code of India.
- Necessary steps should be taken for safety of lives of the adjoining public and property during the construction.
- Construction site should be maintained to prevent mosquito breeding.
- Design of all Structural members including that of the foundation should conform to standard specified in the N.B.C. of India.
- The sanction is valid for 3 years from date of sanctioning.
- Information required by the applicant to this end are:-
  Commencement of work.
  Completion of structural work up to plinth.
  Completion of work.
- No rain water pipe should be fixed or discharged on Road or Footpath.
- The construction should be carried out as per specification of I.S. Code and sanctioned plan under the supervision of qualified empanelled engineers.
- Construction of garbage vat, soak pit & waste water should be done by the owners.
- Any deviation of the sanctioned plan shall mean demolition.

3/12/18
ASSISTANT ENGINEER
South 24 Pgs. Z.P.

10/12/18
District Engineer
South 24 Pgs. Z.P.

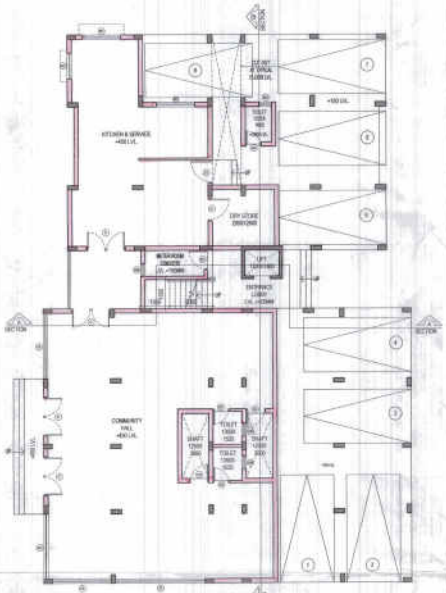
Sanctioned Should be obtained from the concern Gram Panchayat

3/12/18
Assistant Engineer
South 24 Pgs. Z.P

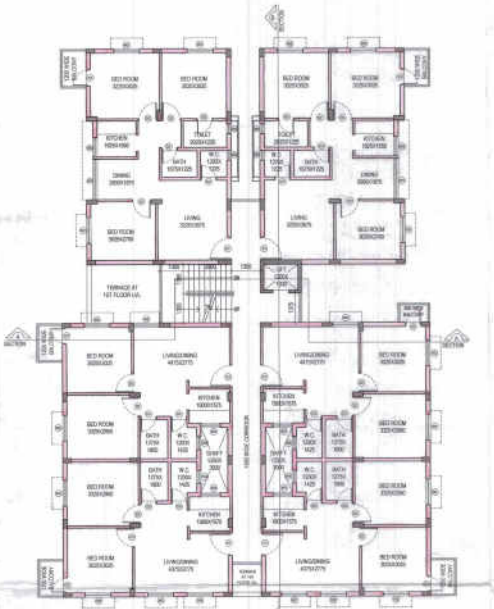
12/12/18
District Engineer
South 24 Pgs. Z.P

CHANDI GRAM PANCHAYAT
Bishnupur II Panchayat Samiti
South 24 Pgs.

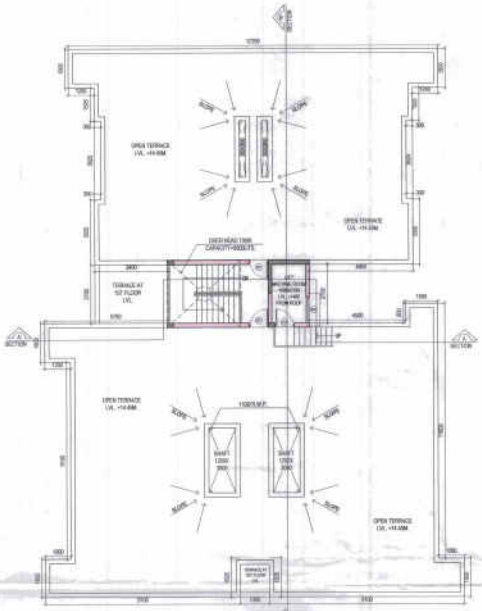
Prodhan
Chandi Gram Panchayat
Bishnupur II Panchayat Samiti



GROUND FLOOR PLAN

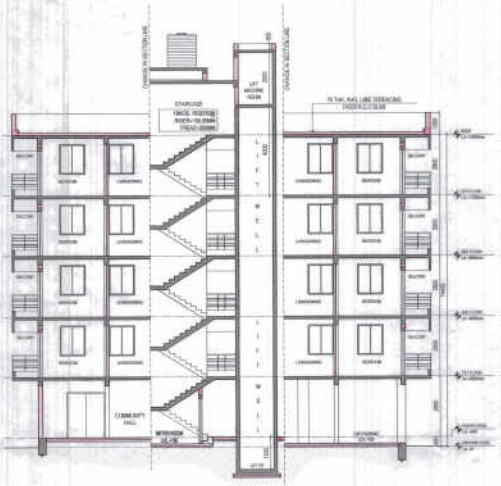


TYPICAL FLOOR PLAN

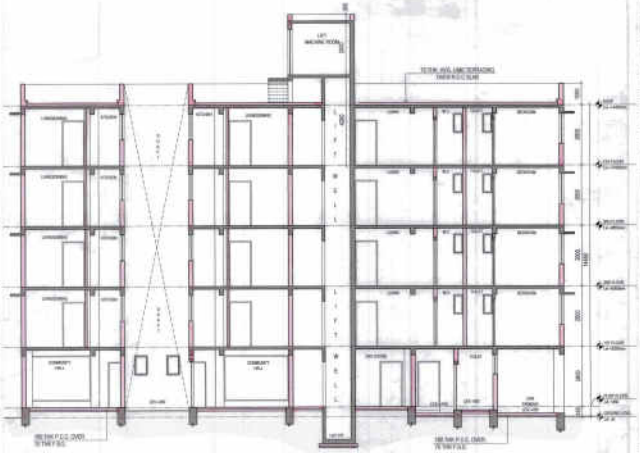


ROOF PLAN

FRONT ELEVATION



SECTION 'A'



SECTION 'B'

SPECIFICATIONS:-

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SANJIV L PAREEK
M.E.(STRUCTURAL CONST.ENG.)
F.C.E., FIE-F-010202-G
E.S.E. NO. 204 (E.K.M.C.)

SIGN. OF STRUCTURAL ENGINEER.

DECORATIVE STONE (INDIA) PVT. LTD.
Director

SIGN. OF OWNER.

SUBIR KUMAR BASU
Registered Architect
Regn. No.- CA/79/10375

SIGN. OF ARCHITECT.

DOOR / WINDOW OPENING SCHEDULE

SL. NO.	LEGEND	SIZE	LINTEL HT.	SIL HT.	SPECIFICATIONS
1	SD		2100	-	SLIDING DOOR
2	D1	1050 x2100	2100	-	FLUSH DOOR
3	D2	900 x2100	2100	-	FLUSH DOOR
4	D3	750 x2100	2100	-	FLUSH DOOR
5	W1	1875x1900	2400	1000	CASEMENT WINDOW
6	W2	1200 x 1400	2400	1000	CASEMENT WINDOW
7	W3	900 x1200	2400	1000	CASEMENT WINDOW
8	W4	450 x900	2400	1000	CASEMENT WINDOW

PROJECT TITLE:-

PROPOSED G+4 STORIED HOUSING COMPLEX AT MOUZA – AMTALA, P.S. BISHNUPUR, J.L. NO. – 73, RS DAG NO. 978, 979, 981, 982 & 985 & LR DAG NO. 1831, 1832, 1837, 1839 & 1836, KHATIAN NO.923, BLOCK – BISHNUPUR-2, GRAM PANCHAYET – CHANDI, DISTRICT – SOUTH 24 PARGANAS.

SHEET TITLE:- 2/3 BHK UNIT

FLOOR PLANS,ROOF PLAN,ELEVATION & SECTIONS

ARCHITECT

Subir Kumar Basu
CONSULTING ARCHITECTS & ENGINEERS
4, BROAD STREET
KOLKATA-700019

DRAWN BY: MADHUMITA	DEALT BY: INDRANI	CHECKED BY: RAJA BASU
SCALE - 1:100	SHEET NO. - 1 OF 8	DATE : 10.11.2017

DRAWING NO. :-SBB/AMTALA/AK/SANCI/3BHK/07