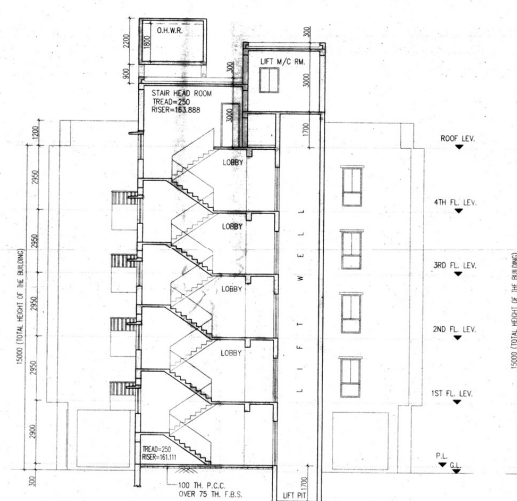
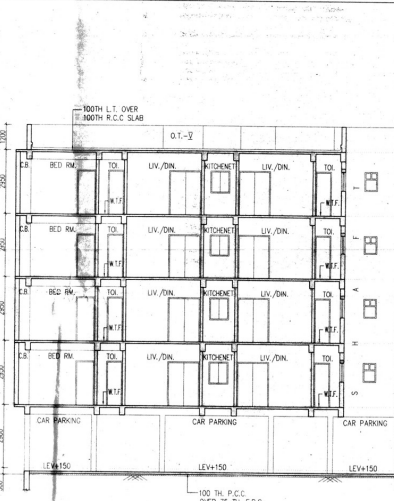


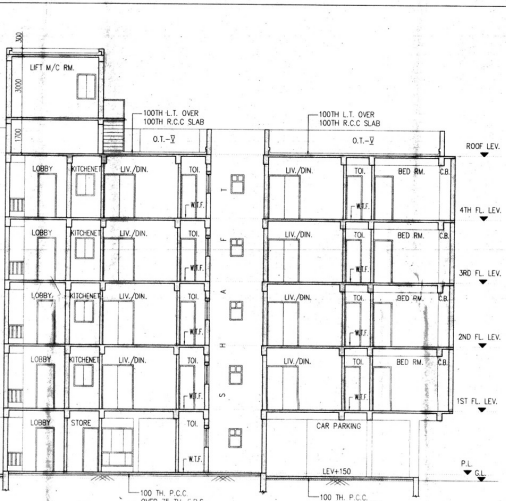
FRONT (WEST SIDE) ELEVATION



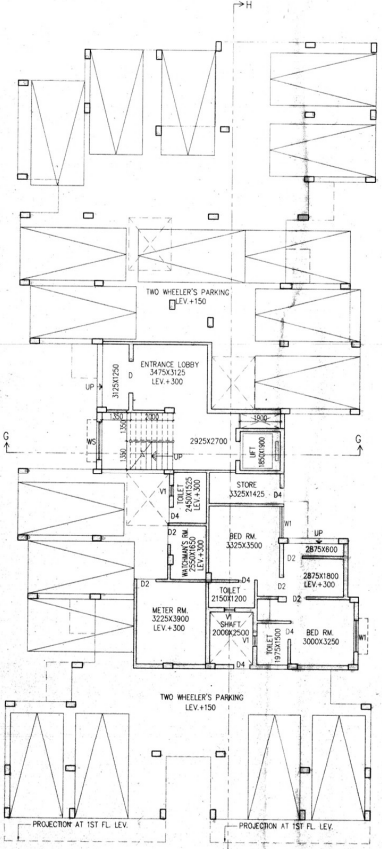
SECTION AT - GG



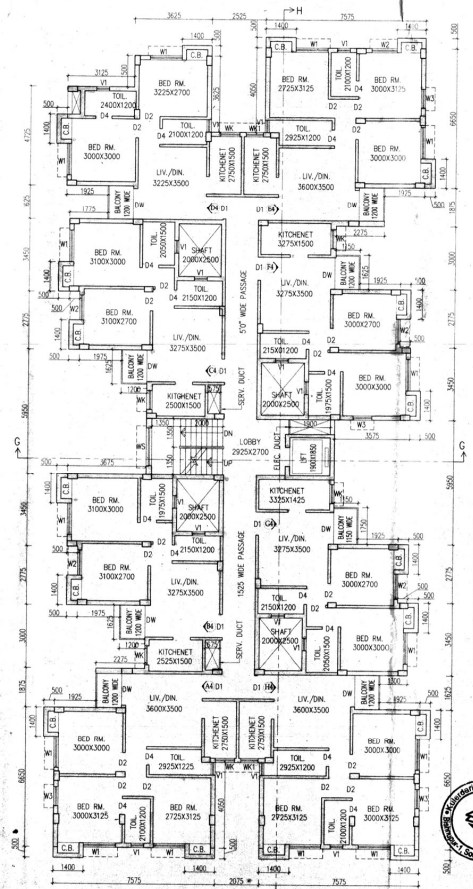
SECTION AT - HH



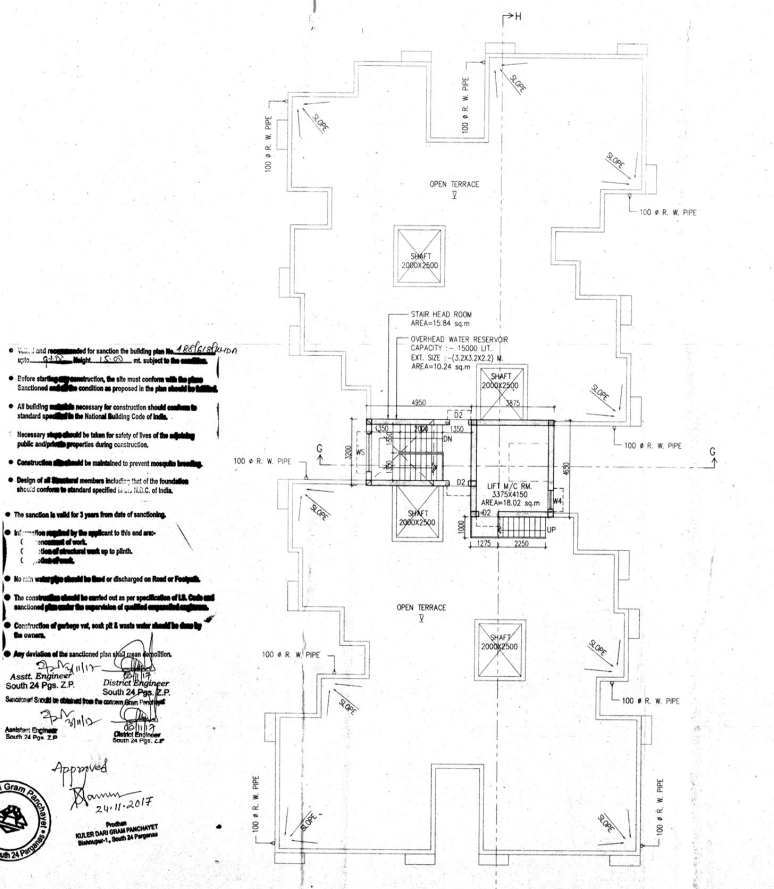
ROOF PLAN



GROUND FLOOR PLAN



TYPICAL FLOOR PLAN (1ST TO 4TH FLOOR)



- 1. This is recommended for sanction the building plan by the local authority.
- 2. Before starting the construction, the site must conform with the plan. Conditioned under the condition as proposed in the plan should be followed.
- 3. All building materials necessary for construction should conform to standard specified in the National Building Code of India.
- 4. Construction should be undertaken to prevent excessive settling.
- 5. Design of all structural members including that of the foundation should conform to standard specified in the National Building Code of India.
- 6. The sanction is valid for 3 years from date of sanctioning.
- 7. If any change is required by the applicant to this and any other part of the plan, the applicant should apply for a fresh sanction.
- 8. No rain water should be shed or discharged on Road or Footpath.
- 9. The construction should be carried out as per specification of I.S. Codes and sectional plan under the supervision of qualified registered architect.
- 10. Construction of garage, vat, well & water tank should be done by the owner.
- 11. Any deviation of the sanctioned plan should be sanctioned by the local authority.



**SPECIFICATIONS**

- R.C.C. FRAME STRUCTURE WITH CONC. GRADE 1:1.5:3.
- 200 MM THK. EXTERNAL 125 & 75 MM THK. INTERNAL WALLS WITH 1:4 CEMENT MORTAR JOINTS.
- STEEL 7-SECTION WINDOWS.
- CAST-IN-SITU CONCRETE FLOORING.
- 1:6 & 1:4 CEMENT PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY.
- WATER PROOFING TREATMENT.
- P.O.P. FINISH ON INTERNAL WALLS & CEILING.

**DOOR & WINDOW SCHEDULE**

TYPE	SILL	LINTEL	SIZE	TYPE	SILL	LINTEL	SIZE
D1	2100	1500X2100	V1	275	2000	1500X2100	W1
D2	2100	1000X2100	V2	275	2000	1000X2100	W2
D3	2100	900X2100	V3	275	2000	900X2100	W3
D4	2100	825X2100	V4	900	2000	825X2100	W4
D5	2100	750X2100	V5	1050	2000	750X2100	W5
D6	2100	1500X2100	V6	1050	2000	1500X2100	W6
			V7	900	2000	1800X2100	W7
			V8	900	2000	900X2100	W8
			V9	1200	2000	600X2100	W9

**CERTIFICATE OF OWNER**  
 CERTIFIED THAT WE HAVE GONE THROUGH THE BUILDING RULES FOR R.C. ALSO UNDERTAKE TO ABIDE BY THOSE RULES DURING & AFTER CONSTRUCTION OF BUILDING.

**DJS REALTY PVT. LTD.**  
 Signature of Owner

**CERTIFICATE OF ENGINEER**  
 CERTIFIED THAT THE FOUNDATION & SUPER STRUCTURE OF THE BUILDING HAVE BEEN SO DESIGNED BY ME TO SAFE IN ALL RESPECT INCLUDING THE BEARING CAPACITY OF E.T.C.  
 THE LAND IS PHYSICALLY VERIFIED BY ME & I FOUND THAT IT IS NOT A TANK OR FILLED UP TANK. IT IS SALI & SUITABLE FOR PROPOSED CONSTRUCTION.

**Signature of Engineer**  
 Rajkumar Agarwal  
 Architect  
 Member of Council of Architects CA / 94 / 17940

**SIGNATURE OF L.B.A./L.B.S.**  
 TITLE: BLOCK - 4  
 GROUND FLOOR PLAN, TYPICAL FLOOR PLAN (1ST TO 4TH FLOOR), ROOF PLAN, FRONT (WEST SIDE) ELEVATION, SECTION AT - GG, SECTION AT - HH.

**PROJECT**  
 PROPOSED G + IV STORED RESIDENTIAL BUILDINGS PLAN (HEIGHT 15 METERS) ON PART OF R.S & L.R. DAG NOS: 2, 4 & 14 AT MOJZA DAULATPUR, PARAGANA - KHASPUR, R.S. NO 341, J.L. NO 79 L.R. KHATHIAN NO 3196, P.S. BISHNUPUR UNDER KULDERHARI GRAM PANCHAYET, DISTRICT: SOUTH 24 PGS