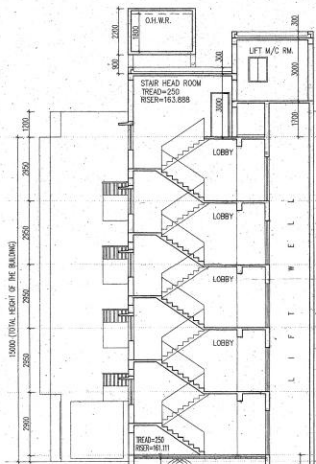
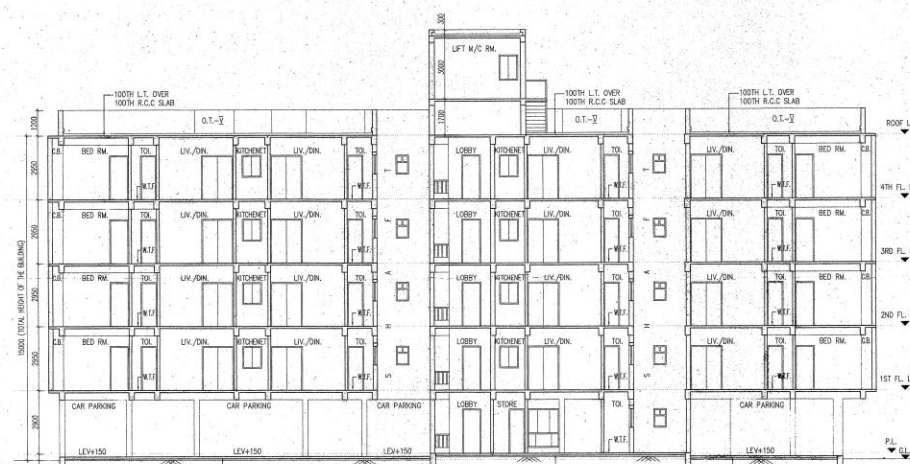


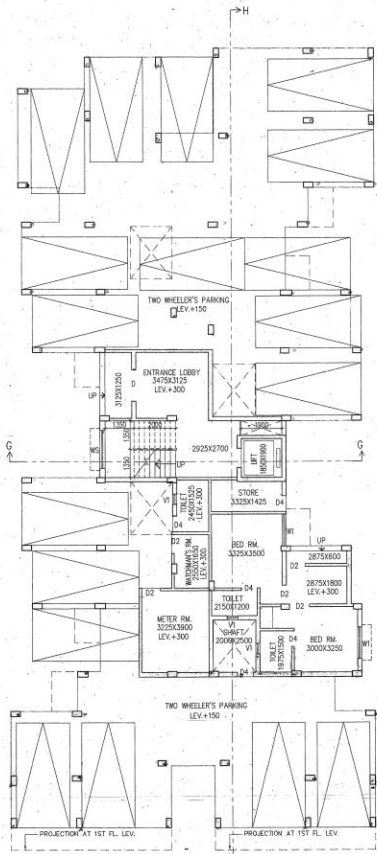
FRONT (WEST SIDE) ELEVATION



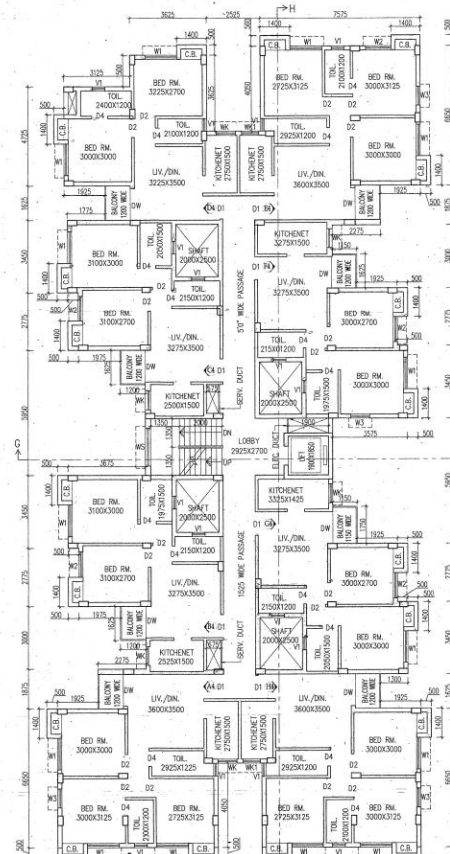
SECTION AT - GG



SECTION AT - HH



GROUND FLOOR PLAN

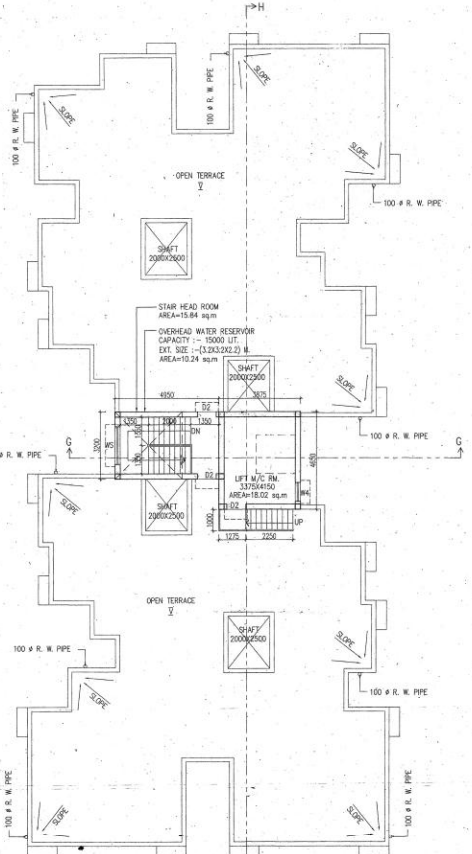


TYPICAL FLOOR PLAN
(1ST TO 4TH FLOOR)

- Valid and recommended for execution the building plan No. **22252/2019** upto **14.06.2019** till **14.06.2019** is subject to the condition.
- Before starting any construction, the site must conform with the plan sanctioned and all the conditions as proposed in the plan should be fulfilled.
- If building materials necessary for construction should conform to standard specified in the National Building Code of India.
- Machinery shops should be taken for safety of lives of the adjoining "R.C.C." and other structures during construction.
- Construction site should be maintained to prevent mosquito breeding.
- The height of the structure should be as per the standard specified in the R.B.C. of India.
- The sanction is valid for 3 years from date of sanctioning.
- Information required by the applicant to this and non-Commercial of work.
Completion of structural work up to plinth.
Completion of work.
- No rain water pipe should be fixed or discharged on Road or Footpath.
- The construction should be carried out as per specification of I.S. Code and sanctioned plan under the supervision of qualified responsible engineer.
- Construction of garbage vault, up jet & waste water should be done by the owner.
- Any deviation of the sanction plan shall be prohibited.



Approved
Date: 24/11/19



ROOF PLAN

SPECIFICATIONS

- R.C.C. FRAME STRUCTURE WITH CONC. GRADE 1:1.5:3.
- 200 MM. THK. EXTERNAL 75 & 75 MM. THK. INTERNAL WALLS WITH 1:4 CEMENT MORTAR JOINTS.
- STEEL Z - SECTION WINDOWS.
- CAST-IN-SITU MOSAIC FLOORING.
- 1:6 & 1:4 CEMENT PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY.
- WATER PROOFING TREATMENT.
- P.O.P. PUNNING ON INTERNAL WALLS & CEILING.

DOOR & WINDOW SCHEDULE

TYPE	SYLL	LINTEL	SIZE	TYPE	SYLL	LINTEL	SIZE
D1	-	2100	1500X2100	V1	275	2100	1500X2100
D2	-	2100	1800X2100	V2	275	2100	1800X2100
D3	-	2100	900X2100	V3	275	2100	900X2100
D4	-	2100	625X2100	V4	900	2100	900X2100
D5	-	2100	750X2100	V5	1050	2100	900X2100
D6	-	2100	1500X2100	V6	1050	2100	900X2100
				V7	900	2100	900X2100
				V8	1200	2100	600X900

CERTIFICATE OF OWNER
CERTIFIED THAT WE HAVE GONE THROUGH THE BUILDING RULES FOR R.G ALSO UNDERTAKE TO ABIDE BY THOSE RULES DURING & AFTER CONSTRUCTION OF BUILDING.

OJSS REALTY PVT. LTD.
Director/General Manager

SIGNATURE OF OWNER

CERTIFICATE OF ENGINEER
CERTIFIED THAT THE FOUNDATION & SUPER STRUCTURE OF THE BUILDING HAVE BEEN SO DESIGNED BY ME TO BE SAFE IN ALL RESPECT INCLUDING THE BEARING CAPACITY OF E.T.C. THE LAND IS PHYSICALLY VERIFIED BY ME & I FOUND THAT IT IS NOT A TANK OR FILLED UP TANK. IT IS SALT & SUITABLE FOR PROPOSED CONSTRUCTION.

Rajkumar Agarwal
Rajkumar Agarwal

SIGNATURE OF ENGINEER
Rajkumar Agarwal
Architect
Member of Council of Architecture CA/194/17390

SIGNATURE OF L.B.A./L.B.S.

TITLE BLOCK - 4
GROUND FLOOR PLAN, TYPICAL FLOOR PLAN (1ST TO 4TH FLOOR), ROOF PLAN, FRONT (WEST SIDE) ELEVATION, SECTION AT - GG, SECTION AT - HH.

PROJECT
PROPOSED G + IV STORED RESIDENTIAL BUILDINGS PLAN (HEIGHT 15 METERS) ON PART OF R.S & L.R. DAG NOS. 2, 4 & 14 AT MOUZA DALAUPUR, PARGANA - KHASPUR, R.S. NO 341, J.L. NO 79 L.R. KHATHAN NO 3196, P.S. BISHNUPUR UNDER KULERDHARI GRAM PANCHAYET, DISTRICT: SOUTH 24 P.GS.

OWNER-S/OJSS REALTY PVT LTD

RAJ AGRAWAL & ASSOCIATES
ARCHITECTS/PLANNERS AND INTERIOR DESIGNERS
B-10, ROSE STREET (2ND FLOOR), KOLKATA-70

DATE: 14/11/19	PROJECT NAME:	PREPARED:	DATE: 14/11/19	SHEET NO:
SCALE: 1:100	SHEET NO: ARCH2019/011			OF 05