



Asansol Durgapur Development Authority

(A Statutory Body of the Government of West Bengal)

Asansol Office: Vivekananda Sarani, (Senraleigh Road), Near Kalyanpur Housing More, Asansol - 713305

Phone no: (0341) 225-7377, 225-7378; Fax: (0341)-225-7379

Durgapur Office: 1st Administrative Building, City Centre, Durgapur - 16

Phone no: (0343) 254-6815, 254-6716, 254-6889; Fax: (0343) 254-6665, 254-5793

Website: www.addaonline.in

e-mail: ceo_adda@yahoo.com, ceoadda.ud@gmail.com, adda.asl@gmail.com, adda.dgpr@gmail.com

Memo No.: ADDA/ASL/ 2030/V/ISS/FL/NOC/433

Date: 30.10.17

To
Shree Brij Bihari Realtors LLP,
Represented by its Partners Sri Dhanesh Sharma, Vinay Kumar Sharma,
Sri Debarshi Dutta & Sri Partha Pratim Dutta,
G.T. Road, Kumarpur, near A.G. Church School,
P.O.- Asansol, Dist. -Paschim Bardhaman,

Sub: Land-use NOC from ADDA for Development of **Commercial Housing Project (B+G+IV)** on Plot No. 340/378(P), corresponding to Khatian No. 619 with an area of 1953.42 sq. mt. (including 134.37sq.mt of Private Road) in Mouza Kumarpur, J.L No. 19, P.S. Asansol, within Asansol Municipal Corporation.

Ref: Your Application No. P/2886 dated 24-07-2017.

Sir,

With reference to the above this is to inform you that as per provision of LUDCP, this Authority is pleased to issue Development Permission for development of Commercial Housing Project (B+G+IV) on the above quantum of land and locations mentioned above, subject to fulfillment of the following features & conditions.

For any type of construction, necessary approval of detailed Architectural/Structural drawings duly signed by Architect/Engineer, made as per Corporation/Municipality/Panchayet Acts & Rules is to be obtained from the Competent Authority.

Features of the proposed project:

- | | |
|--|----------------------------------|
| I. Ground coverage as per Building Plan | : 49.89% of the total plot area; |
| II. Number of dwelling units/Commercial units/area | : 40 units/ Gr. Floor full; |
| III. Type of Buildings | : B+G+IV; |
| IV. Building height | : 15.5 Mtr. |

Conditions:

1. This NOC is related to land use only under T&CP Act 1979. All Statutory clearance needs to be obtained for setting up Commercial Housing Project (B+G+IV).
2. This NOC does not include provision for assuring water supply for the above mentioned project. In case the project proposes to draw ground water or from any other sources, necessary permissions must be sought from the Competent Authority accordingly.
3. Necessary supply of Power is required to be obtained from the local Power Supply Agencies. Alternative sources of power must be assured for emergencies.

(2)

4. Proper adequate drainage is required to be prepared during land development and as per level survey of the area, submitted in this office so that adjacent plots are not adversely affected.
5. Necessary Fire Clearance is mandatory as per norms. Fire safety measures are required to be installed to avoid any mishap to the public life and property.
6. Garbage Vat is required to be provided within the project area, which is easily accessible to the inhabitants and the local bodies (Corporation, Municipalities etc.) as well.
7. Harvesting of Rainwater along with recharging pits in adequate number must be installed in the site to be self-sufficient.
8. Installation of Solar System for lightning etc. in all the shadow free areas within the project may be inducted to make the project energy efficient.
9. Provision of small S.T.P. must be there. Necessary permission from the Competent Authority may be obtained for the Outfall of such S.T.P.
10. The project must ensure the infrastructure of all public amenities and safety measures as and when required and as per Govt. Rules.
11. A copy of Completion Certificate of the project from the Competent Authority is required to be submitted in due time to this Authority.
12. Permission for conversion of land under the provision of WBLR Act must be obtained from the Competent Authority.
13. Arrangement of Ingress & outgress of the project area must be ensured and to be arranged by the project implement authority.

Yours faithfully,



Chief Executive Officer

Asansol Durgapur Development Authority

as

Date:

Memo No.:

Copy forwarded with enclosure of drawings for kind information to the Mayor, Asansol Municipal Corporation.

Chief Executive Officer

Asansol Durgapur Development Authority



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GOVERNMENT OF WEST BENGAL
OFFICE OF THE DIVISIONAL FIRE OFFICER, BURDWAN DIVISION
WEST BENGAL FIRE & EMERGENCY SERVICES
BURDWAN FIRE STN. BLDG. BURDWAN.

Memo No. FES/Bdn/ 1393 /2017

Dated: 6/7 /2017

From: The Divisional Fire Officer
Burdwan Division
West Bengal Fire & Emergency Services

To : SRI BRIJ BIHARI REALTORS LLP & 4 Others,
G.T.Road, Kumarpur, A.G.Church School,
Asansol, Dist. Paschim Bardhaman.

Sub : Issue of Fire Safety recommendations for the B+G+4 storied residential cum commercial building in favour of SRI BRIJ BIHARI REALTORS LLP & 4 OTHERS (1) Dhanesh Sharma, (2) Sri Binay Kumar Sharma (3) Sri Debarshi Dutta (4) Pratim Dutta at G.T.Road, A.G.Church School, on R.S.Plot No. 340/378, L.R.Kh.No. 619, R.S.Kh.No. 201,202, Mouza: Kumarpur, J.L.No.19, Ward No. 53, P.S.Asansol, Dist. Paschim Bardhaman, kunder A.M.C.

Ref : Your application Dated 3/7/2017.

This is to reference to your letter dated 3/7/2017 regarding Issue of Fire Safety recommendations for the B+G+4 storied residential cum commercial building in favour of SRI BRIJ BIHARI REALTORS LLP & 4 OTHERS (1) Dhanesh Sharma, (2) Sri Binay Kumar Sharma (3) Sri Debarshi Dutta (4) Pratim Dutta at G.T.Road, A.G.Church School, on R.S.Plot No. 340/378, L.R.Kh.No. 619, R.S.Kh.No. 201,202, Mouza: Kumarpur, J.L.No.19, Ward No. 53, P.S.Asansol, Dist. Paschim Bardhaman, kunder A.M.C.

The plan drawing submitted by you was scrutinized and marked as found necessary from Fire Safety point of view i.e Fire prevention and Fire safety Rules 1996 with upto date amendment and the relevant portions of Part IV of the N.B.C., I.S. Specification and relevant building Rules of Local Bodies subject to inspection report of the Inspecting Authority of this department. In returning one set of Plan with recommendation, this office is issuing Fire Safety recommendation in favor of the aforesaid concern subject to the compliance of the following Fire Safety Measure. After complying of Fire safety recommendation (Enclosed herewith) N.O.C./Fire safety certificate will be issued in due course.

Enclosed: Recommendation

(Handwritten signature in green ink)

DIVISIONAL FIRE OFFICER
BURDWAN DIVISION
WEST BENGAL FIRE & EMG. SERVICES

RECOMMENDATIONS

1. CONSTRUCTION :-

- 1) The whole construction of the proposed building shall be carried out as per approved plan drawings conforming the relevant building Rules of Local Municipal Body.
- 2) The floor area exceeds 750m² shall be suitably compartments by separation walls upto ceiling level having at least Two hours Fire resisting capacity.
- 3) The interior finish decoration of the building shall be made low flame spread materials conforming I.S. specification.
- 4) Provision of ventilation at the crown of the central core-duct of the building shall be provided.
5. Arrangement shall have to be made for sealing all the vertical ducts by the materials of adequate Fire resisting capacity.

B. OPEN SPACE & APPROACH :

- 1) The open space surrounding the building shall conform the relevant building rules as well as permit the accessibility and maneuverability of Fire appliance with turning facility.
- 2) The approach roads shall be sufficiently strong to with stand the load of Fire Engine weighting upto 20 M.T.
- 3) The width and height of the access gates into the premises shall not be less than 4.5 m and 5 M respectively abutting the road.

C. STAIR CASE :-

- 1) The Stair case of the building shall be enclosed type. Entire construction shall be made of bricks/R.C.C. type having Fire resisting capacity not less than 4 hours.
- 2) The Stair case of the building shall have permanent vents at the top and openable sashes at each floor level in the external wall of the building.
- 3) The width of the Stair cases shall be made as marked in the Plan Corridors and the exit doors shall conforming the relevant building rules and well as rules of the cinematograph Act with upto date amendments.
4. One extra stair constructed at opposite site of another stair cases upto roof level connected with all floor.
5. All the Stair cases shall be extended upto terrace of the building and shall be negotiable to each other without entering into any room.
6. Fire and Smoke doors at the entrances of all the Stair case enclosures as marked in the plan at each floor level shall be provided. The F.C.D. shall be of at least one hour Fire resisting wire glass window fitted with self closing type openable in the direction of escape.

D. L I F T :-

- 1) The walls of the lift enclosure shall be at least Two hours Fire resisting type. Collapsible gate shall not be permitted.
- 2) One of the lifts shall be designed for FIRE LIFT shall be designed for Fire Lift. The word "FIRE LIFT" shall conspicuously be written at ground floor.



Contd..p/2

E. BASEMENT : :-

- 1) The Basement shall be adequately ventilated.
- 2) Additional Stair case from the open air as shown in the drawing shall be constructed besides the ramps conforming relevant I.S. specification.
- 3) The basement shall be protected with Auto Sprinkler system/Hose Reel system etc.
- 4) Mechanical extractor for Smoke venting system from lower/upper basement levels shall also be provided. The system shall be of such design as to operate on Actuation of heat/smoke sensitive detector or sprinkling. It shall also have an arrangement to start it manually.
- 5) Mechanical extractors shall have an alternative source of supply.
- 6) The Basement shall not be used other than car parking

F. FIRE FIGHTING WATER :

1. Underground water Reservoir having water capacity at 50,000. And Overhead Reservoir of 10,000 lts. Capacity exclusively for Fire Fighting purpose with replenishing arrangement @ 1000 lts/min. Preferably from Two different sources of water supply shall be provided.
2. The Fire water Reservoir shall have overflow arrangement with the domestic water Reservoir as well as to avoid stagnancy of water.
3. The water Reservoir shall be kept full at all times.

G. HYDRANT SYSTEM :-

- 1) The building shall be provided with Wet Riser 100 mm internal diameter pipe line with provision of landing valves at the Stair case landings/ half landings at the rate of one such riser for 1000 sq.m. of floor area . The system shall be so designed that shall be kept charged with water all the time under pressure and capable to discharge 2850 lts. /min. at the ground floor level outlet and minimum 900 lts./min. at the top most outlet. In both cases the running pressure shall not be less than 3.5 kgs/sq.m. All other requirements shall conform I.S. 3844-1899.
- 2) Yard Hydrant/Ring Main Hydrant with provision of four numbers Hydrant shall be installed surrounding the building in accordance with relevant I.S. specification.

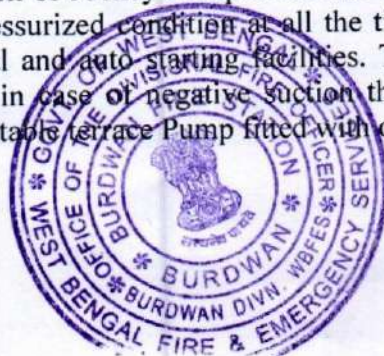
H. SPRINKLER INSTALLATION

The automatic sprinkler installation shall be provided Basement in all floor areas of the building as per I.S. 1972. Alarm gang to be incorporated along with the sprinkler system.

I. FIRE PUMP :

Provision of Fire Pump shall have to be made to supply water at the rate designed pressure and discharge into the Mater based system which shall be installed in the building. One such pump shall always be kept on stand-by preferably be of diesel driven type.

A separate Fire Pump shall preferably be made for the total Sprinkler installation or the building. Provision of Jockey Pump shall also have to be made to keep the Water based system under pressurized condition at all the time. All the pumps shall be incorporated with both manual and auto starting facilities. The suction of Pumps shall preferably of positive type or in case of negative suction the system shall be Wet Riser-cum-Down Commer with suitable terrace Pump fitted with overhead tank.



J. ELECTRICAL INSTALLATION & DISTRIBUTION :-

1. The electrical installation including transformers, Switch Gears, Min & Meters etc. and the distribution system of the premises shall be made satisfying the code of practice for Fire Safety in general building as laid down in I.S. specification 1946-1982.
2. The vertical ducts shall be supply sealed at alternative floor level.
3. The electrical installation shall be adequately protected with Co2 /D.C.P. or Medium Velocity/Projector system.
4. Alternate Power Supply :-

Arrangement shall have to be made to supply power with the help of a generator to operate at least the Fire Pump, Pump for Deep Tube-well, Fire Alarm system, Fire Lift etc. and also for illuminating the Stair case, corridors etc. and other places of assembly of the building in case of normal power failure.

K. DETECTION,ALARM AND SUPPRESSION SYSTEM :-

- 1) Manually operated Electrical Fire Alarm system with at least four numbers of break glass type call boxes fitted with Hooters along with public address system, talk back system at each floor connecting with audio visual panel board shall be made in Control Room. The Control Room shall be located at the entrance of Ground Floor of the building, other requirements of the system shall be made conforming I.S. 2189-1988.
2. Auto Fire detection system with the help of Plant and smoke detector shall be installed in all places of below and preferably above false ceiling of the building. The system shall also be made in places or rooms where valuable articles have been kept. The other requirement of the system shall be made in accordance with I.S.2189-1988.
3. The suppression system shall be made with Fire Extinguishers and total flooding system with Co2/F.M 200 particularly in computer and Electrical processing and data room and in a room of irreplaceable articles.
4. Hooters will be sounded in such a manner so that an operation of a Detector or Manual Call Point Hooters will sounded on the same floor and immediate alternative floor.
5. Public Address System :-
Public address system linked between all floors and Control Room shall have to be established.

L. AIR CONDITIONING SYSTEM : (IF ANY):

- 1) The A.H.U. shall be separated for each floor with the system Air Ducts for individual floors.



- 2) Arrangement shall be made for isolation at the strategic locations by incorporating auto dampers in the Air Conditioning system.
- 3) The system of auto shut down of A.H.U. shall be incorporated with the auto detection and alarm system.
- 4) The Air handling units room shall not be used for storage of any combustible materials.

M. FIRST AID FIRE FIGHTING SYSTEM :-

First Aid Fire Fighting arrangement in the style of placing suitable type of portable Fire extinguishers Fire Buckets etc. in all floors and vulnerable locations of the premises shall be made in accordance with I.S. 2190-1992.

N. GENERAL RECOMMENDATIONS :

- 1) In case of storing, keeping and processing any inflammable liquids/chemical /articles/gases etc. beyond the limit of specific quantity. Fire license shall have to be obtained from this deptt.
- 2) Fire License shall have to be obtained for proposed storing and processing with L.P.G. and other highly combustible articles.
- 3) Fire Notice for Fire Fighting and evacuation from the building shall be prepared and be displayed at all vulnerable places of the Building.
- 4) Floor numbers and directional sign of escape route shall be displayed prominently.
- 5) The employees and security staff shall be conversant with installed Fire Fighting equipments of the building and to operate in the event of Fire and Testing.
- 6) Arrangement shall be made for regular checking, testing and proper maintenance of all the Fire Safety installation and equipments installed in the building to keep them in perfectly good working conditions at all times.
- 7) In case of any land dispute /building dispute /Litigation between landlord and tenants /court case etc if arises any time this department has no liabilities and responsibilities in this matter.
- 8) A crew of trained fireman under and experienced officer shall be maintained round the clock for safety of the building.
- 9) Mock Fire practice and evacuation drill shall be performed periodically with participation of all occupants of building.
- 10) Each year a certificate is to be obtained from the Divisional officer, "G" Divn. West Bengal Fire & Emg. Services certifying about the satisfactory services, performance of all the Life and Fire Safety arrangements and installation of the building.
- 11) This Fire Safety Recommendations valid for one Year from the Date of Issue and Prior information is required for further extension the period.



26/07/18

**DIVISIONAL FIRE OFFICER,
BURDWAN DIVISION
WEST BENGAL FIRE & EMG. SERVICES**

GOVERNMENT OF WEST BENGAL
DEPARTMENT OF FIRE & EMERGENCY SERVICES
OFFICE OF THE DIVISIONAL FIRE OFFICER, BURDWAN DIVISION
BURDWAN FIRE STN. BLDG. BURDWAN.

Memo No FES/Bdn/ 1380 /2017

Dated: 5/7 2017

To SRI BIR BIHARI BALTORS & ORS 4 NOS (PARTNERS)

G-T ROAD KUMARPUR, A.G. CHURCH SCHOOL
ASANSOL DIST. BURDWAN, PASCHIM

Sub: Demand Notice under Section-IIC of WBFS Act, 1950 as amended up to date for
issuance of recommendation for the proposed construction/Existing building under use of
group A at the premises No. RS & R Plot No-340/378, R. KHAN-

619 RSKH NO-201, 202, MOUBZA KEIMAR PUR JL NO-19 Ward
NO-53, P.S ASANSOL Dist. Burdwan PASCHIM, under AMC
Dear Sir/Madam,

With reference to the building application submitted in respect to the above
proposed /Existing bldg this is to inform you that the building permit along with the
sanctioned plan will be issued subject to the payment of fee amount Rs. 24000/-

You are hereby requested to permit the above amount immediately from the date of
receipt of the notice.

Total Floor Area (In sq.Mtrs)
Ground Floor Area (in Sq.Mtrs)
Primary use Group
Total additional Floor Area
Abutting Road width

: 5446.26m²
: 907.71m² (Commercial)
: A 4538.55m² (Residential)
: 45m

Amount in Words

Mode of payment: Rs. Twenty four thousand only.

Through GRIPS in the site WWW.Wbfin nic. In under the Head of Account 0070-60-109-
001-14 as Service Fees, and you are requested to submit the original receipt of Challan to
this office within seven(7) days from the date of receipt of this office.

10/5/17
DIVISIONAL FIRE OFFICER
BURDWAN DIVISION
WEST BENGAL FIRE & EMG.SERVICES

Shree Brij Bihari Realtors LLP

Subhaspally Main Road, Near Burnpur Bus Stand, Post- Burnpur, Asansol - 713325, Dist. - Paschim Bardhaman. W. B.
Mob.: 9434389842 / 9434134349, E-mail : shreebrijbihari@gmail.com

Date 23/10/2019.

To

The Authority

Asansol Municipal Corporation

Re: commencement of the B+G+4 Building at R.S & L.R plot no.340/378. L.R Khatian no. 619.
And R.S.Khatian no 201,202.mouza -Kumarpur J.L no.19 Ward no. 1(old), 53(new).

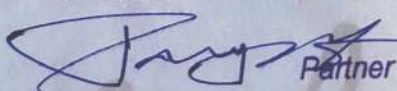
This is to inform you that we had commenced the constructions of the building at the above mentioned address on 01/08/2018 permit no 370(ii)/BP/AMC/HO/18 dated 26/07/18.

Yours faithfully

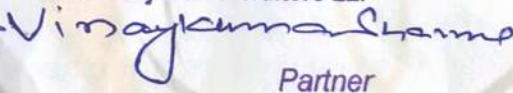
Partners

SHREE BRIJ BIHARI REALTORS LLP.

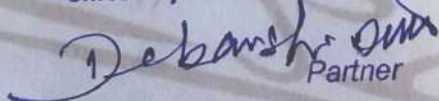
Shree Brij Bihari Realtors LLP


Partner

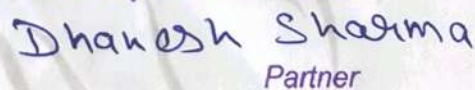
Shree Brij Bihari Realtors LLP


Partner

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Partner

Shree Brij Bihari Realtors LLP


Partner



Shree Brij Bihari Realtors LLP

Subhaspally Main Road, Near Burnpur Bus Stand, Post- Burnpur, Asansol - 713325, Dist. - Paschim Bardhaman. W. B.

Mob.: 9434389842 / 9434134349, E-mail : shreebrijbihari@gmail.com

Date

Declaration regarding clearance in respect of Airport Authority of India

This is hereby declared that the land scheduled below in respect of project (BRIJ RESIDENCY) does not fall under the jurisdiction of the Airport Authority of India.

Schedule of the Project -

Project Name - Brij Residency

Building - B+G+4

District - PASCHIM BURDHAMAN

Mouza - Kumarpur

Plot No. - 340/378

J.L No. - 19

Khatian No. - 1771

Area - 25 Katha 15 Chattak 28 Sq. ft.

P.S - Asansol

District - Paschim Burdhaman

Signature

Shree Brij Bihari Realtors LLP

Vinay Kumar Sharma
Partner

Shree Brij Bihari Realtors LLP

Partner