

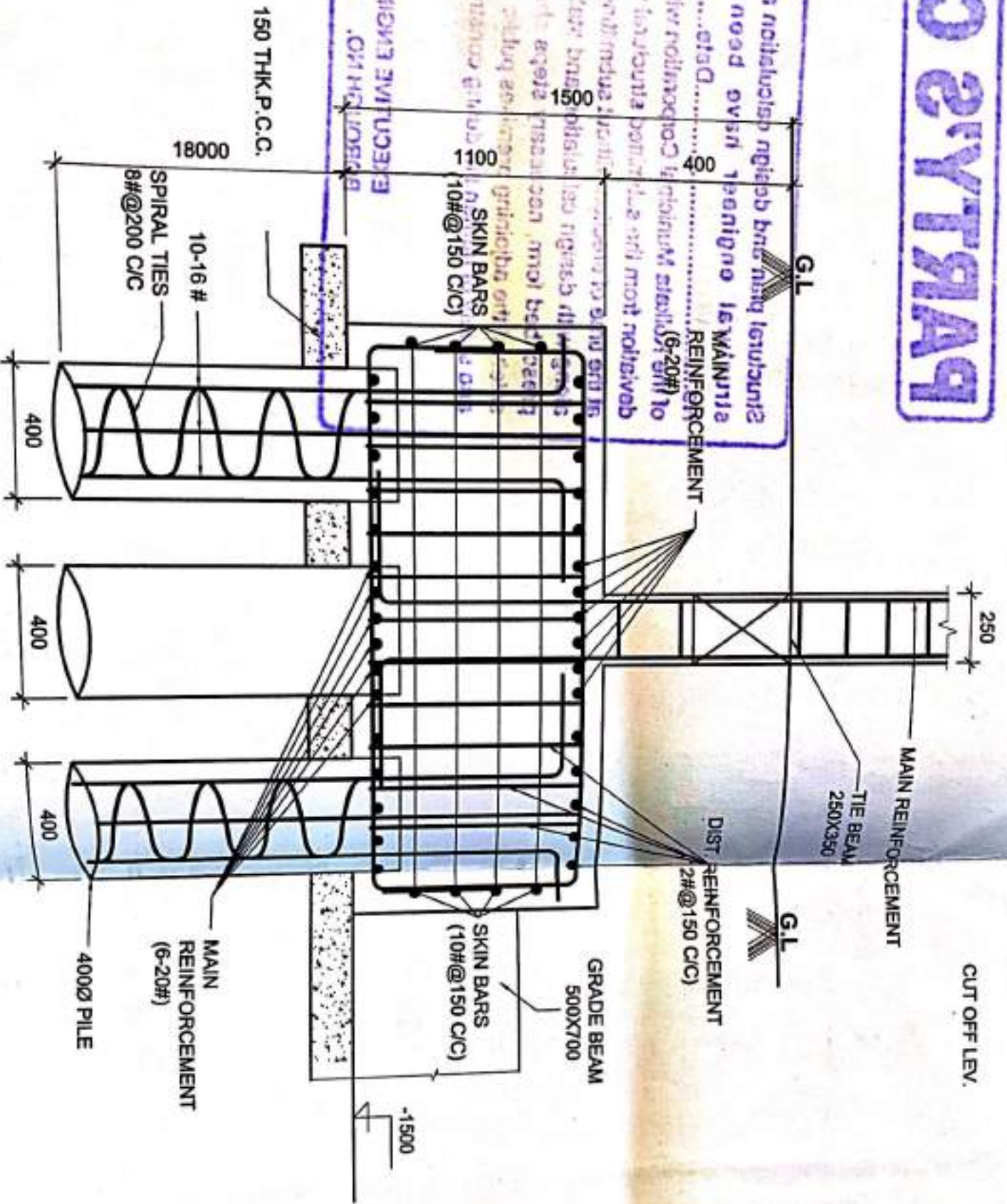
**FLOOR BEAM ARRANGEMENT PLAN**

SCALE=1:100

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SECTION AT-2-2

SCALE-1:25

CAP	CC
MKD	M
PC-2	CS.C
PC-1	

BEAM N	
ALL	
COLUM	
ALL	
BEAM MK	
B1	
B2	
B3	

## SCHEDULE OF PILE CAP

CAP MKD	COLUMN MKD	NO OF PILE	CUT OF LEV.	SIZE	T H K	MAIN RE-INFORCEMENT		
						MAIN BAR	DISTRIBUTARY	SKIN BAR
PC-2	C6,C7,C10,C11	3	-1500	2000 EQT.	1100	6-20#	12#@150C/C	10#@150C/C
PC-1	REST	3	-1500	2000 EQT.	1100	6-20#	12#@150C/C	10#@150C/C

## SCHEDULE OF TIE BEAM

BEAM MKD.	SIZE	MAIN RE-INFORCEMENT				STIRRUPS	
		SUPPORT		SPAN		SUPP	SPAN
		TOP	BOTT	TOP	BOTT		
ALL(TB-1)	250 X 350	3-16#	3-16#	3-16#	3-16#	2L-8#@150C/C	

## SCHEDULE OF COLUMN

COLUMN MKD.	SIZE	MAIN RE-INFORCEMENT		LATERAL TIES
		UP TO 2ND FLOOR	ABOVE 2ND FLOOR	
ALL	250X450	4-20 # & 4-16 #	8-16 #	2L-8#@150C/C

## SCHEDULE OF BEAM

BEAM MKD.	SIZE	MAIN RE INFORCEMENT				STIRRUPS	
		SUPPORT		SPAN		SUPPORT	SPAN
		TOP	BOTT	TOP	BOTT		
B1	250X350	4-16#	2-16#	2-16#	4-16#	2L-8#@150 C/C	2L-8#@150 C/C
B2	250X350	5-16#	3-16#	3-16#	5-16#	2L-8#@150 C/C	2L-8#@150 C/C
B3	250X350	6-16#	3-16#	3-16#	6-16#	2L-8#@150 C/C	2L-8#@150 C/C

## SCHEDULE OF SLAB

PANEL MKD.	THK.	MAIN RE-INFORCEMENT				REMARKS
		SHORTER DIRECTION		LONGER DIRECTION		
		SUPPORT	SPAN	SUPPORT	SPAN	
S1	125	8#@150C/C	8#@150C/C	8#@150C/C	8#@150C/C	
ST	175	10 # @ 150 C/C	10 # @ 150 C/C	12 # @ 100 C/C	12 # @ 100 C/C	STAIR SLAB

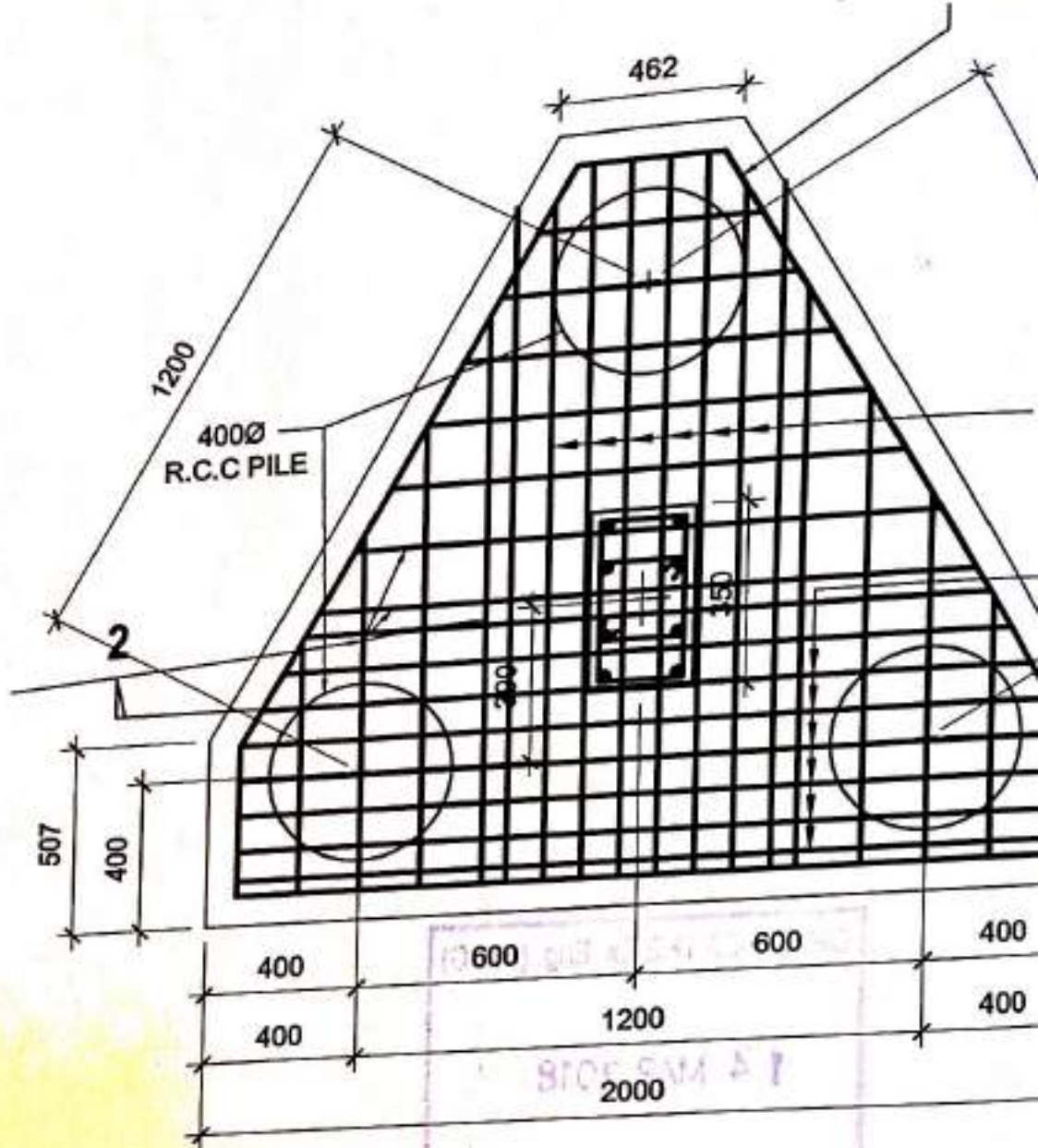
## SCHEDULE OF PILE

DIA OF PILE	LENGTH OF PILE	MAIN RE-INFORCEMENT	SPIRAL TIES	SPACER BAR
450	18000	10-16#	8#@200 C/C	12 # SPACER BAR @ 2000 C/C



**SECTION AT-2-2**  
SCALE-1:25

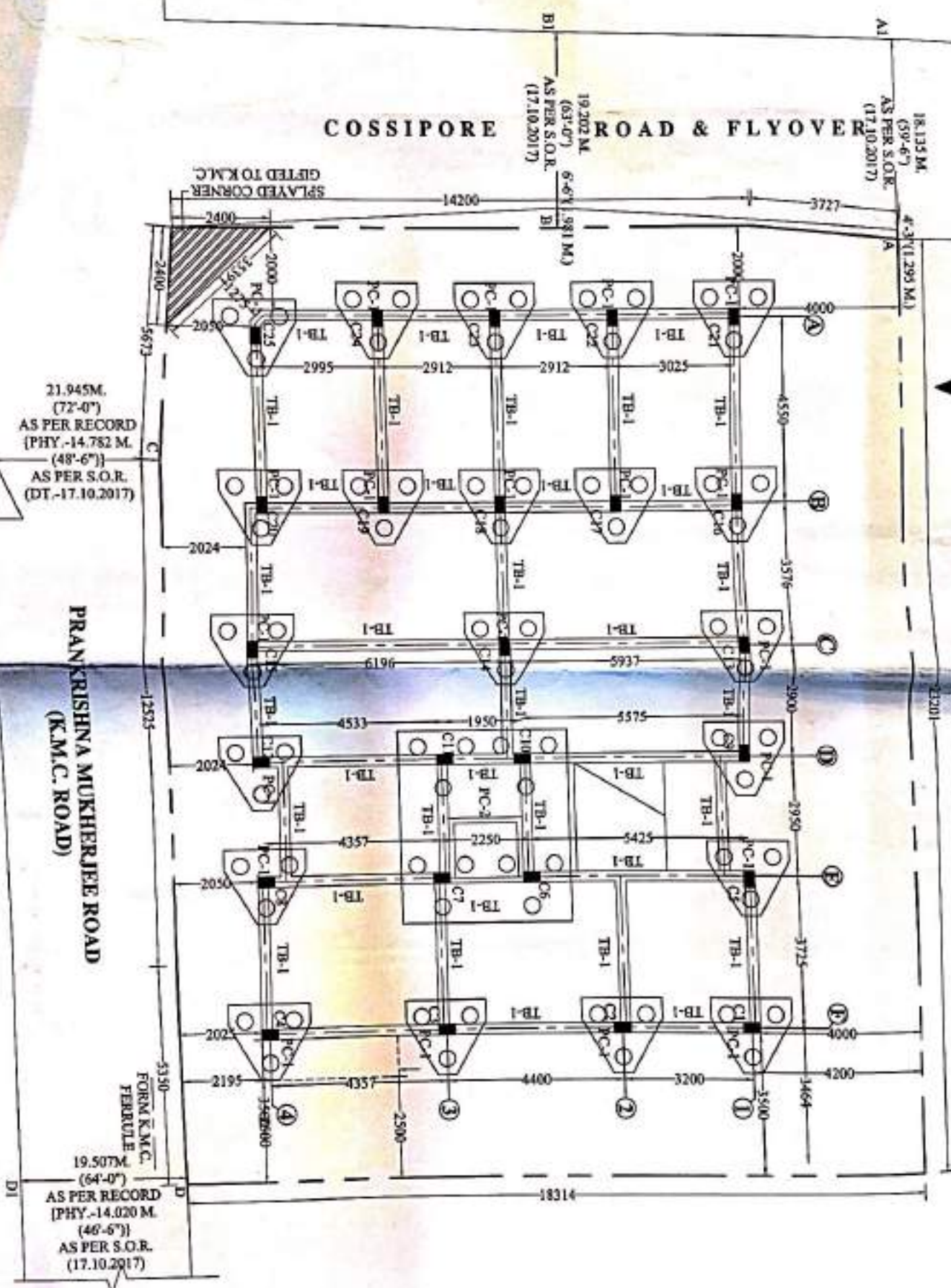
SKIN BARS  
(10#@150 C/C)



DIST. REINFORCEMENT  
(12#@150 C/C)

**DETAIL OF THREE GROUP PILE CAP MKI**  
SCALE-1:25

# COSSIPORE ROAD & FLYOVER



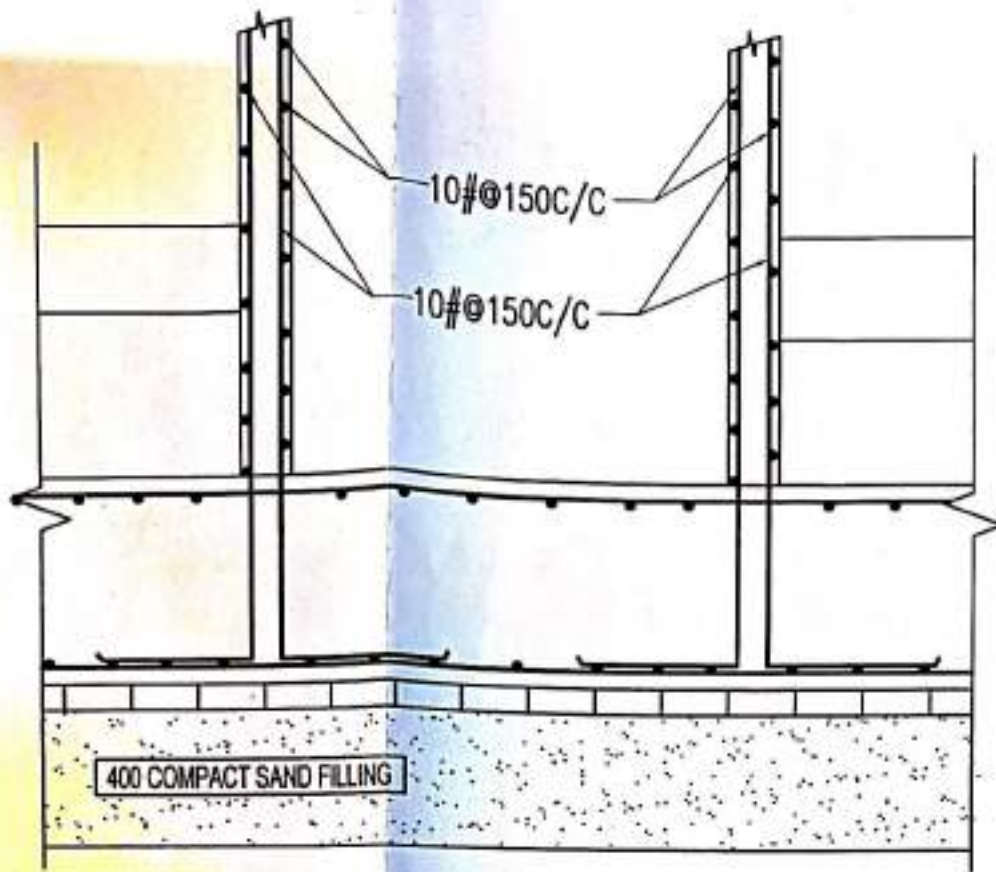
21.945M.  
(72'-0")  
AS PER RECORD  
(PHY.-14.782 M.  
(48'-6"))  
AS PER S.O.R.  
(DT.-17.10.2017)

PRANKRISHNA MUKHERJEE ROAD  
(K.M.C. ROAD)

19.507M.  
(64'-0")  
AS PER RECORD  
(PHY.-14.020 M.  
(46'-6"))  
AS PER S.O.R.  
(17.10.2017)

THERE IS AN ENCROACHMENT ON THE SOUTHERN SIDE AFORESAID REQUIRES FOR TO EXISTENCE SOME STRUCTURE, BUT INSTANT FIRMNESS IS NOT RESPONSIBLE.

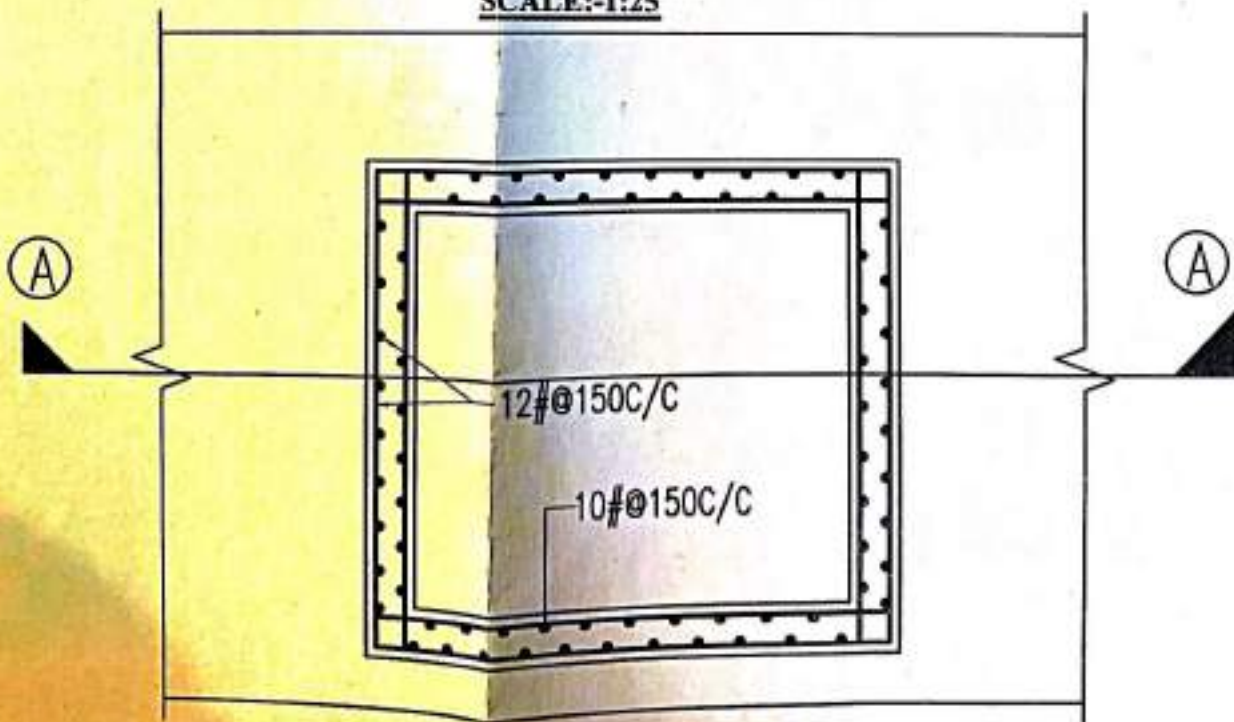
FOUNDATION LAY OUT PLAN  
SCALE-1:100



300  
AT

**SECTION AT-A-A**

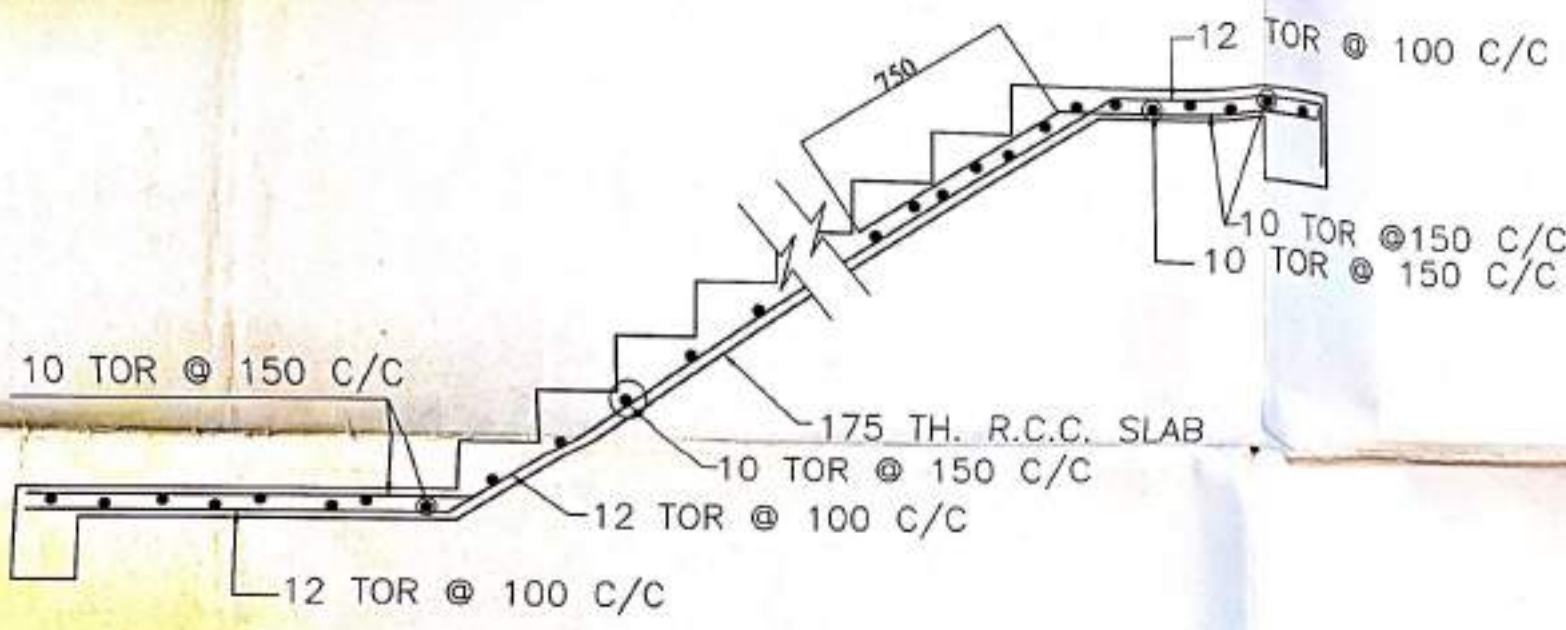
**SCALE:-1:25**



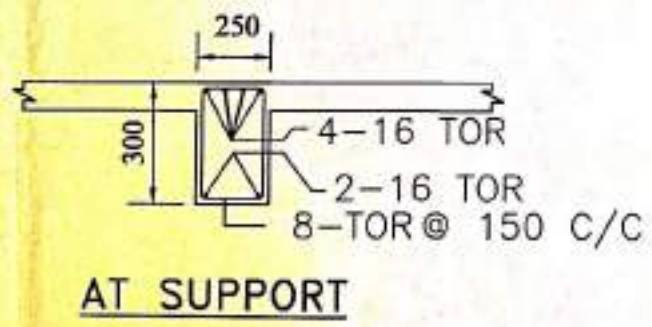
**DETAILS OF LIFT DETAILS**

**SCALE:-1:25**

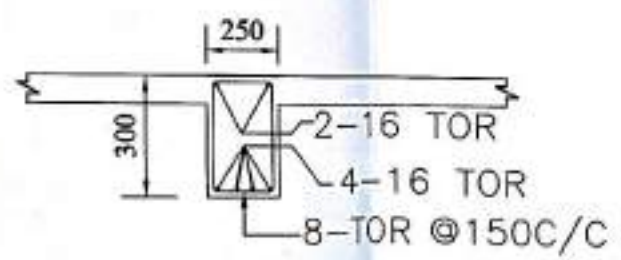
DIA OF PILE	LENGTH OF PILE	MAIN RE-INFORCEMENT	SPIRAL TIES	SPACER BAR
450	18000	10-16#	8#@200 C/C	12 # SPACER BAR @ 2000 C/C



**TYPICAL DETAIL OF STAIR**  
SCALE:- 1:50



**AT SUPPORT**



**AT SPAN**

**TYPICAL DETAIL OF FLOOR BEAM (B1)**  
SCALE:- 1:25

**DECLARATIONS OF ARCH. / L.B.S.**

CERTIFIED THAT THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ABUTTING ROAD CONFORM WITH THE PLAN. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK THERE IS AN EX STRUC. TO BE DEMOLISHED BEFORE COMMENCEMENT OF WORK.

*Joydip Bilas Thakur*  
**JOYDIP BILAS THAKUR**  
 Licenced Building Surveyor

## STATEMENT OF THE PLAN CASE NO.-2017010066

### PART-A:

1. ASSESSE NO: 11-006-26-0003-2.

2.a) DETAIL OF REGISTERED DEED(V).

BOOK NO : I,	VOL. NO : 14,	PAGE NO : 157 to 162,
BEING NO : 434,	YEAR : 2000,	PLACE : A.R.A.-I, CALCUTTA.
BOOK NO : I,	VOL. NO : 14,	PAGE NO : 163 to 168,
BEING NO : 435,	YEAR : 2000,	PLACE : A.R.A.-I, CALCUTTA.
BOOK NO : I,	VOL. NO : 3,	PAGE NO : 317 to 323,
BEING NO : 232,	YEAR : 2000,	PLACE : A.R.A.-I, CALCUTTA.
BOOK NO : I,	VOL. NO : 85,	PAGE NO : 312 to 318,
BEING NO : 1781,	YEAR : 1998,	PLACE : A.R.A.-I, CALCUTTA.
BOOK NO : I,	VOL. NO : 85,	PAGE NO : 319 to 325,
BEING NO : 1782,	YEAR : 1998,	PLACE : A.R.A.-I, CALCUTTA.

2.b) DETAIL OF POWER OF ATTORNEY.

BOOK NO : IV,	CD VOL. NO : 16,	PAGE NO : 2890 to 2905,
BEING NO : 08740,	YEAR : 2014	PLACE : A.R.A.-III, KOLKATA

2.c) DETAIL OF BOUNDARY DECLARATION (I).

BOOK NO : I,	VOL. NO : 1603-2016,	PAGE NO : 152880 to 152893,
BEING NO : 160305139,	YEAR : 2016	PLACE : D.S.R.-III ,SOUTH 24 PARAGANAS

2.c) DETAIL OF SPLAYED CORNER (I).

BOOK NO : I,	VOL. NO : 1603-2016,	PAGE NO : 152616 to 152629,
BEING NO : 160305132,	YEAR : 2016	PLACE : D.S.R.-III ,SOUTH 24 PARAGANAS

3. a) AREA OF LAND : 430.787 sqm. (06K.-07CH.-2 SQFT.)

b) NO OF STOREY : G+IV.

4. a) NO. OF TENAMENTS : 12 NOS.

5. SIZE OF TENAMENTS : a) 50 SQ.M TO 75 Sqm..... 4 NOS.  
: b) 75 SQ.M TO 100 Sqm..... 8 NOS.

### PART-B:

1. AREA OF LAND:-



a) 50 SQ.M TO 75 Sqm..... 4 NOS.  
 : b) 75 SQ.M TO 100 Sqm..... 8 NOS.

**PART-B:**

**1. AREA OF LAND:-**

AS PER TITLE DEED(06K.-07CH.-02SFT)=430.787 SQM.

2. AS PER BOUNDARY DECLEARATION =430.787 SQM.

3. NET LAND AREA= 427.919 SQM.

4. (i) PERMISSIBLE GROUND COVERAGE (55.646%)= 239.71 SQM.

(ii) PROPOSED GROUND COVERAGE (51.52%)= 221.962 SQM.

5. PROPOSED HEIGHT= 15.50 M.

**6A. PROPOSED AREA (AREA STATEMENT):-**

	TOTAL COVERED AREA	CUTOUT SHAFT/LIFT WELL/ STAIR DUCT	NET COVERED AREA	TOTAL EXEMPTED AREA		NET FLOOR AREA
				STAIR+STAIR LOBBY	LIFT LOBBY	
GROUND FLOOR	218.637 SQ.M	NIL	218.637 SQ.M	13.365 SQ.M	2.329 SQ.M.	202.943 SQ.M
1ST FLOOR	221.962 SQ.M	2.160 SQ.M.	219.802 SQ.M	13.365 SQ.M	2.329 SQ.M.	204.108 SQ.M
2ND FLOOR	221.962 SQ.M	2.160 SQ.M.	219.802 SQ.M	13.365 SQ.M	2.329 SQ.M.	204.108 SQ.M
3RD FLOOR	221.962 SQ.M	2.160 SQ.M.	219.802 SQ.M	13.365 SQ.M	2.329 SQ.M.	204.108 SQ.M
4TH FLOOR	221.962 SQ.M	2.160 SQ.M.	219.802 SQ.M	13.365 SQ.M	2.329 SQ.M.	204.108 SQ.M
TOTAL	1106.485 SQ.M	8.64 SQ.M.	1097.845 SQ.M	66.825 SQ.M	11.645 SQ.M.	1019.375 SQ.M

**6B. TENEMENTS & CAR PARKING CALCULATION :-**

**(A) RESIDENTIAL:**

MARKED	TENEMENT AREA	PROPORTIONAL AREA TO BE ADDED	ACTUAL TENEMENT AREA	NO. OF TENEMENT	REQUIRED CAR PARKING
A	82.242 SQ.M	10.010 SQ.M	92.252 SQ.M	4 NOS.	06=NOS.
B	68.854 SQ.M	8.381 SQ.M	77.235 SQ.M	4 NOS.	
C	52.104 SQ.M	6.342 SQ.M	58.446 SQ.M	4 NOS.	

7A. TOTAL REQUIRED CAR PARKING :-06 NOS.

7B. TOTAL PROPOSED CAR PARKING :-06 NOS.

8A. TOTAL MERCANTILE RETAIL COVERED AREA= 73.399 SQM.

8B. TOTAL MERCANTILE RETAIL CARPET AREA= 62.081 SQM.

9. PROPOSED AREA OF PARKING :- = 112.143 SQ.M .

10. PERMISSIBLE F.A.R = 2.25.

11. PROPOSED F.A.R = 2.106<2.25

12. STAIR HEAD ROOM AREA :- 16.585 SQ.M.

13. LIFT MACHINE ROOM AREA :- 9.135 SQ.M.

14. TERRACE AREA :-221.962 SQ.M.

15. RELAXATION OF AUTHORITY :- APPROVED BY M.B.C. AT MEETING NO. -541,DT.-07.12.2017.

16. OVER HEAD TANK AREA :- 4.805 SQ.M.

17. AREA OF CUP-BEARD = (0.6 SQM.X12 NOS.)= 7.2 SQ.M.

18. LIFT MACHINE ROOM STAIR AREA :- 3.229 SQ.M.

19. AREA OF LOFT (12 NOS.)= 7.804 SQ.M.

20. OTHERS AREA ONLY FOR FEES :- 78.470 (Exemption)+ 3.229(L.M.R. STAIR) = 81.699 SQ.M.

**SPECIFICATIONS**

R.C.C. FRAME STRUCTURE WITH CONC. GRADE M25 & STEEL GRADE Fe-500

20. OTHERS AREA ONLY FOR FEES :- 78.470 (Exemption)+ 3.229(L.M.R. STAIR) = 81.699 SQ.M.

**SPECIFICATIONS**


R.C.C. FRAME STRUCTURE WITH CONC. GRADE M25 & STEEL GRADE Fe-500  
 200 M.M. THK. EXTERNAL 125 & 75 M.M. THK. INTERNAL WALLS WITH  
 1:4 CEMENT MORTER JOINTS.  
 STEEL Z- SECTION WINDOWS.  
 1:6 & 1:4 CEMENT PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY.  
 ALL FLOORS ARE WATER TIGHT & MARBLE FLOORING  
 P.O.P. PUNNING ON INTERNAL WALLS & CEILING.

**DOOR WINDOW SCHEDULE**

TYPE	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
D	1000	2100	W1	1200	1200
D1	900	2100	W2	900	1200
D2	750	2100	W3	600	600
			SW	1200	1200

**CERTIFICATE OF STRUCTURAL ENGINEER**

THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAVE BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER N.B.C OF INDIA AND RECOMMENDATION OF SOIL INVESTIGATION REPORT, CONDUCTED BY MR. RUPAK KUMAR BANERJEE,( G.T.E. - 3/I ) (M/S KABITA ENTERPRISE), CERTIFY THAT IT IS SAFE AND STABLE IN ALL RESPECT.

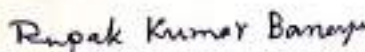
  
**KALYAN BRATA ROY**  
 CHARTERED ENGINEER  
 MIE-AM091769-1 MIA Struc E;MIGS  
 MIA Engg;MASCE;MACC (I)  
 ESE (CL-I) - 99

**KALYAN BRATA ROY (E.S.E.-99 / II)**

SIGNATURE OF THE E.S.E.

**SIGNATURE OF GEOTECHNICAL CONSULTANT**

**RUPAK KUMAR BANERJEE**  
 B.C.E., M.E., MIGS  
 M.I.E., CHARTERED ENGINEER  
 L.B.S.-I, E.S.E.-1, G.T./I/3(K.M.C),  
 (M) 9830149593

  
**RUPAK KUMAR BANERJEE(G.T.E.-3/I)**

SIGNATURE OF THE GEOTECHNICAL ENGINEER

GROUND FLOOR PLAN, FIRST TO FOURTH FLOOR PLAN, ROOF PLAN,  
 EXISTING PLAN, U.G.WATER RESERVOIR, PLAN & SECTION OF SEPTIC TANK  
 LOCATION PLAN, SITE PLAN, SECTION-AA & BB, FRONT & SIDE ELEVATION

**PROJECT.**

PROPOSED G+IV STORIED RESIDENTIAL BUILDING PLAN OF THE PREMISES NO. - 4A, PRANKRISHNA MUKHERJEE ROAD, KOLKATA - 7000 02, P.S. - CHITPUR, WARD NO. - 06, BOROUGH NO. - I, COMPLYING KMC BUILDING RULE 2009 AND U/S 393A OF KMC BUILDING ACT 1980. UNDER THE KOLKATA MUNICIPAL CORPORATION.

SCALE:- 1:25

DECLARATIONS OF ARCH. / L.B.S.

CERTIFIED THAT THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ABUTTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK. THERE IS AN EX STRUC. TO BE DEMOLISHED BEFORE COMMENCEMENT OF WORK.

*Joydip*  
JOYDIP BILAS THAKUR  
Licenced Building Surveyor  
The Kolkata Municipal Corporation  
Licence No. 1136 Class-I

JOYDIP BILAS THAKUR (L.B.S. - 1136 / 1)

SIGNATURE OF THE L.B.S.

I DO HERE BY DECLARE WITH FULL RESPONSIBILITY THAT, I SHALL ENGAGE L.B.S. & E.S.E. DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILTY OF THE BUILDING & ADJONING STRUCTURE IF ANY SUBMITTED DOCUMENT ARE FOUND FAKE. THE K.M.C AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF S.U.G.W.R. TAKEN UNDER THE GUIDENCE OF L.B.S. / E.S.E. BEFORE STARTING OF BUILDING FOUNDATION.

*Madhu Pandey*

*Somya Pandey*

*PUSHPAK PRAKASH PANDEY*

M/s. GANGA DEVELOPERS  
Represented by Its Partners  
MADHU PANDEY  
SOMYA PANDEY  
PUSHPAK PRAKASH PANDEY  
Constituted Attorney of  
M/s. K.M.P. & CO.

M/S, GANGA DEVELOPERS  
REPRESENTED BY ITS PARTNERS  
MADHU PANDEY  
SOMYA PANDEY  
PUSHPAK PRAKASH PANDEY  
CONSTITUTED ATTORNEY OF  
M/S. K.M.P. & CO.

SIGNATURE OF THE OWNER(S)

# PARTY'S COPY

Structural plan and design calculation as submitted by the structural engineer have been kept with B.P. No. 0017010088 Date 29/03/18 for record of the Kolkata Municipal Corporation without verification No. deviation from the submitted structural plan should be made at the time of erection without submitting fresh structural plan along with design calculation and stability certificate in the prescribed form, necessary steps should be taken for the safety of the adjoining premises public and private properties and safety of human life during construction.

  
EXECUTIVE ENGINEER/ASST. ENGINEER  
BOROUGH NO. I

OFFICE OF THE Ex. Eng. (BLDG)

14 MAR 2018

BUILDING DEPARTMENT  
K.M.C