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I-8259/10



पश्चिमबंगाल पश्चिम बंगाल WEST BENGAL

818999

Certified that the documents is admissible to registration. The signature sheets and the endorsement sheets attached this document are part of this document.

28/10/10
 Registrar B/S/T (B) &
 Registration ACT 1908
 District: West Bengal
 28 OCT 2010
 274

2/c 1402/10
 t. 17555/10
 6-16

THIS DEED OF CONVEYANCE is made this theday of

October,, 2010 TWO THOUSAND TEN BETWEEN

M/S. K.M.A. COMMODITIES PRIVATE LIMITED, a Company
 incorporated under the Companies Act, 1956 having its registered office at
 11, Lower Range, P.S. Beniapukur, Kolkata- 700 017, represented by its
 one of the Director **Mr. Kishan Mirania Agarwal** son of Rambilas
 Mirania Agarwal, by Nationality Indian, by faith Hindu, by occupation

J(1) 250.00 Contd....
 J(2) 150.00

Total ₹ 400.00
 Realised on 27.10.10
 28/10/10

Q

5 OCT 2010

No. 1124 Rs. 5000 Date

Name

Address

Vender Sri Subhankar Das

Alipore Collectory
South 24 Parganas

BISWANATH GHOSH
Advocate
High Court, Calcutta
10, K. S. Roy Road, 2nd Floor
R No.-36, Kolkata -700 001

SUBHANKAR DAS
STAMP-VENDOR
Alipore Police Court
Kolkata - 700027

✓ Sandip Halder



2368

Pawanputra Advisory Services Pvt. Ltd.

✓ Sandip Halder

Director



2370

✓ Kishan M Agarwal

(KISHAN M AGARWAL)



Sub Registrar
Registrar U/SY (B)
Registration Act 1908
Alipore, South 24 Parganas
27 OCT 2010

Identified by
Biswanath Ghosh
Advocate
High Court, Calcutta

Business, residing at 36/1B, Elgin Road, P.S. Bhawanipore, Kolkata- 700 020, hereinafter called and referred to as the "VENDOR" (which expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include its successor-in-office, heirs, executors, administrators, legal representatives and assigns) of the ONE PART

AND

PAWAN PUTRA ADVISORY SERVICES PRIVATE LIMITED, a Company incorporated under the Companies Act, 1956 having its registered office at 23A, Netaji Subhash Road, 2nd floor, Room No. 17, Kolkata 700 001, represented by its' Director **Mr. Sandeep Kabra** son of Late Kishan Kabra, by Nationality Indian, by faith Hindu, by occupation Business, residing at 15, Ballygunge Park Road, 5th floor, P.S. Karaya, Kolkata-700019, hereinafter called and referred to as the "PURCHASER" (which term or expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include its successor-in-office, heirs, executors, administrators, legal representatives and assigns) of the

OTHER PART

WHEREAS one Nemai Chandra Naskar was the dakhalia right/ possession holder in accordance with the generation by generation and his name recorded in the C.S. of all that total sali land area 25 decimals in Pargana- Khaspur, J.L. No. 45, R.S. No. 41 under Collectorate Touzi No. 39 under Police Station – Tollygunge in Mouza -Briji now appertaining to

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**Sub-Registrar -
Registrar U/S 7 (2)
Registration Act 1908
South 24 Parganas
27 OCT 2010**

R.S. Khatian No. 3 and R.S. Dag No. 7 in Mouza Garagacha now under the Rajpur- Sonarpur Municipality, under A.D.S.R. office and Police Station Sonarpur, District 24-Parganas (S) , the said Nemaï Chandra Naskar died before the of R.S. Record and Sri Upendra Nath Naskar is only son and/or only successor of the said Nemaï Chandra Naskar ,after the death of Nemaï Chandra Naskar, the said Sri Upendra Nath Naskar is seized and possessed of the said property and recorded his name in the R.S. Record as the owner of the said property after paying tax regularly thereon. During the possession the said Nemaï Chandra Naskar sold, transferred and conveyed a part of the Sali land admeasuring 20 Decimal out of total 25 Decimal Sali land by way of a registered deed on 12.12.1975 to The Modern Engineering Company, a partnership firm, then having its office at 15, Telipara Lane, Dhakuria, Kolkata-700 031, representative by its Partners Sri Bimal Kumar Mitra, Smt Purnima Mitra and Sri Atal Behari kayal, the said deed was registered in the office of the District Sub-Registrar at Sonarpur, recorded in Book I, being Deed No. 4906 for the year 1975.

AND WHEREAS during the possession the said The Modern Engineering Company, a partnership firm, now having its head office at 1/399A, Gariahat Road(South), Kolkata-700 069, representative by the Rambilas Agarwala as a constituted power of attorney holder being registered Deed No. 824 for the year 1992 on behalf of the Partners Smt Purnima Mitra and

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Registrar of Companies
Registrar U/S 1 (2),
Registration ACT 1956
South 24 Parganas
27 OCT 2010

others sold, transferred and conveyed a part of the said Sali land measuring area **10 Decimal** more or less out of total Sali land 20 Decimal by way of registered Deed of Bengali Kobala to the present vendor which is morefully described in the Schedule below. That the said deed of sale was registered on 17.05.2002 in the office of the A.D.S.R at Sonarpur, 24-Parganas(South), recorded in Book No. I, volume No.63, pages 347 to 355, Being Deed No. 3881 for the year 2002.

AND WHEREAS since Purchase the Vendor is absolutely seized and possessed of all the said Sali land admeasuring 10 Decimal more or less in Mouza Garagacha, Pargana Khashpur J.L. No. 45, R.S. No. 41, Touzi No. 39 appertaining to R.S. Khatian No.3 and R.S. Dag. No. 7, within P.S. & A.D.S. R. office at .Sonarpur under Rajpur- Sonarpur Municipality, now Ward No. 1, in the District. of South 24 -Parganas and mutated his name in the aforesaid Municipality after paying taxes regularly and also sufficiently entitled to the aforesaid property as absolute owner thereof.

AND WHEREAS being in need of cash money the Vendor herein has declared for absolute sale of the said sali land admeasuring 10 Decimal more or less in Mouza Garagacha, Pargana Khashpur J.L. No. 45, R.S. No. 41, Touzi No. 39 appertaining to R.S. Khatian No.3 and R.S. Dag. No. 7, within P.S. & A.D.S.R. office at .Sonarpur under the Rajpur- Sonarpur Municipality, Ward No. 1 in the District. of 24 -Pgs(S) and the Purchaser

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District Sub Registrar -
District Registrar U/S (2) of
Registration Act 1908
South 24 Parganas
27 OCT 2010

herein has agreed to purchase the same which has been morefully and particularly described in the schedule below at or for the total consideration of the sum of Rs. 12,00,000/- (Rupees Twelve Lac) only free from all encumbrances.

NOW THIS INDENTURE WITNESSES that in pursuance of the said consideration of the said sum of Rs. 12,00,000 /- (Rupees Twelve Lac) only to the true and lawful money of the Union of India in hand to the Vendor paid by the Purchaser at or before the execution of these presents whereof the Vendor doth hereby as well as by the receipt hereunder written admit acknowledge and of and from the payment of the same doth hereby acquit, release and forever discharge the Purchaser as well as the said land , the Vendor doth hereby grant, transfer, convey, sell assign and assure unto and to the use of the Purchaser free from all encumbrances ALL THAT land measuring an area 10 Decimal more or less be the little more or less in Mouza Garagacha, under R.S. Dag No. 7 appertaining to R.S. Khatian No.3 under Police Station - Sonarpur, District South 24 – Parganas together with all rights, liberties, easements appendages, appurtenances and estate right title interest property claim whatsoever of the Vendor in the said land free from all encumbrances to hold the same absolutely and forever situated in Mouza Garagacha under the aforesaid Police Station and District, morefully and particularly mentioned and

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Assistant Sub Registrar
Registrar U/S 7 (2) of
Registration Act 1908
South 24 Parganas
27 OCT 2010

described in the Schedule hereunder written delineated in the plan or map annexed hereto bordered in RED verges hereinafter referred to as the said land or in anywise appertaining or usually held used or enjoyed therewith or reputed to belong or appurtenant thereto AND all the estate right, title, interest, inheritance, use, trust possession, property, claim and demand whatsoever both at law and in equity of the Vendors or in and upon the said land hereditaments and premises or any part thereof together all deeds, pattahs, muniments, writings and evidence of title whatsoever relating to or concerning the said land hereditaments and premises or any part thereof which now are or hereinafter shall or may be in the possession, power or control of the Vendor or any other persons from whom it may procure the same without any action or suit TO HAVE AND TO hold the said land here by granted, sold, transferred, conveyed, assigned and assured or expressed or intended so to be unto and to the use of the Purchaser absolutely and forever for a perfect and indefeasible estate or inheritance in free simple in possession without any manner of condition use, trust or others thing whatsoever to alter, defect, encumber or make void the same and the Vendor doth hereby covenant, with the Purchaser that notwithstanding any act, deed, matter, assurance or in whatsoever by the Vendor made done execute occasioned or suffered to the contrary the Vendor now lawfully rightfully and absolutely seized and possessed on or otherwise well and sufficiently entitled to all that the said land hereby granted, sold, transferred, conveyed,

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Sub-Registrar U/S 10
Registration ACT 1956
South 24 PARGANAS
27 OCT 2010

assigned and assured or expressed or intended so to be unto and to the use of the Purchaser for a perfect and indefeasible estate or inheritance in fee simple in possession without any manner of hindrance condition use trust or other thing whatsoever to alter defeat encumber or make void the same and that notwithstanding any such act, deed, matter or thing whatsoever as aforesaid the Vendor has now in itself good right, full power and absolute authority to grant, sale, transfer, convey, assign and assure by these presents the said land hereby granted, sold, transferred conveyed, assigned and assured or expressed or intended so to be unto and to the use of the Purchaser in manner aforesaid and that the Purchaser shall and may from time to time and all times hereafter peaceably and quietly possess and enjoy the said land hereby granted, sold, transferred, conveyed, assigned and assured or expressed or intended so to be unto and to the use of the Purchaser in manner aforesaid and to receive the rents, issues and profits thereof without any lawful eviction interruption claim or demand whatsoever from or by the Vendor or of the said land and premises directly to the authorities concerned and that the Purchaser shall also be entitled to sell, lease, mortgage, gift or otherwise alienate the said land in any manner whatsoever aforesaid as shall or may be reasonably required.

MOREOVER THE VENDOR declares that the rent and taxes for the said land hereby sold has been paid and there is no arrear of dues of rates, rents and taxes in respect of the said land further that the Vendor shall

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[Handwritten signature]
District Sub Registrar
of the Registrar W/S/T (a) -
Registration ACT 1908
South 24 Parganas
27 OCT 2010

execute all documents deed of declaration or rectification or any other supplementary deed or deeds at the cost of the Purchaser to establish its good and effective title, mistake if any and the Purchaser shall have full right absolute authority to bring electric , telephone, gas and water connection under or over the said land together with easement rights therein as shown in the plan attached herewith and finally the said Purchaser shall have right to cause separate assessment by mutating his name in the office of the Municipality, B.L & L. R.O and/or any other Government and Semi government offices in place of the name of Vendor to which the Vendor shall give all consent and signature if necessary and Vendor further declare that the said land hereby sold is not subject to any attachment, alignment lien, charges, mortgage or any suit or execution of any court of law and the said land is free from all encumbrances and the purchaser hereby covenant with the vender that being satisfied with right , title of the Vendor and measurement of the property hereby conveyed.

SCHEDULE

ALL THAT piece and parcel of Sali land admeasuring **10 Decimal** equivalent to 6 Cottahs 36 Sq.ft. more or less appertaining to R.S. Khatian No. 3 and R.S. Dag. No. 7, in Mouza –Goragacha, J.L. No. 45, R.S.No. 41, under Collectorate Touzi No. 39, Pargana- Khashpur under the Rajpur – Sonarpur Municipality, under P.S. & A.D.S.R. office at Sonarpur

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District Sub Registrar -
Registrar U/S 7 (2) of
Registration Act 1908
District: North 24 Parganas
27 OCT 2016

in the District. of South 24 -Parganas with all easements rights and also common passage/s of the said property thereof.

The proportionate annual rent of the said land is payable to the office of the Collector, Government of West Bengal. The said land is delineated RED BORDER in the plan annexed hereto, which is butted and bounded as follows :

- ON THE NORTH : R.S.Dag No. 6
 ON THE SOUTH : 12 feet wide Common passage
 ON THE EAST : Part of R.S.Dag No. 7
 ON THE WEST : Land of other Dag nos.

:

IN WITNESS WHEREOF the parties have set and subscribed their respective hands on the day, month and year first above written.

SIGNED, AND
 DELIVERED IN THE
 PRESENCE OF :-

1. Vivek Agarwal
 CF-268, Salt Lake
 Sector-I, Kolkata-64


2. Tapas Bhattacharjee
 P-71, Jodu Colony
 Kolkata-34,

Prepared & Drafted by

Biswanath Ghosh

BISWANATH GHOSH
 ADVOCATE
 High Court, Calcutta

KMA COMMODITIES PVT. LTD.


 Director
 (KISHAN M AGARWAL)

SIGNATURE OF VENDOR

Pawanputra Advisory Services Pvt. Ltd.

 Director

SIGNATURE OF PURCHASER

Contd ...



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Registrar of Companies
West Bengal
Registration Act 1956
Alipore, South of Parkside
27 OCT 2018

MEMO OF CONSIDERATION

RECEIPT of and from within named Purchaser the within mentioned sum of Rs. 12,00,000/- (Rupees Twelve Lac) only towards the full and final consideration as follows:-

| Date | Cheque. No. | Bank & Branch | Amount |
|------------|-------------|---|-----------------|
| ----- | ----- | ----- | ----- |
| 03.11.2007 | 342468 | Allahabad Bank B.K.Pal Avenue, Kolkata | Rs. 12,00,000/- |

(RUPEES TWELVE LAC ONLY)

WITNESSES :-

1. Vinek Agarwal

2. Tapas Bhattacharjee

KMA COMMODIT ES PVT LTD.

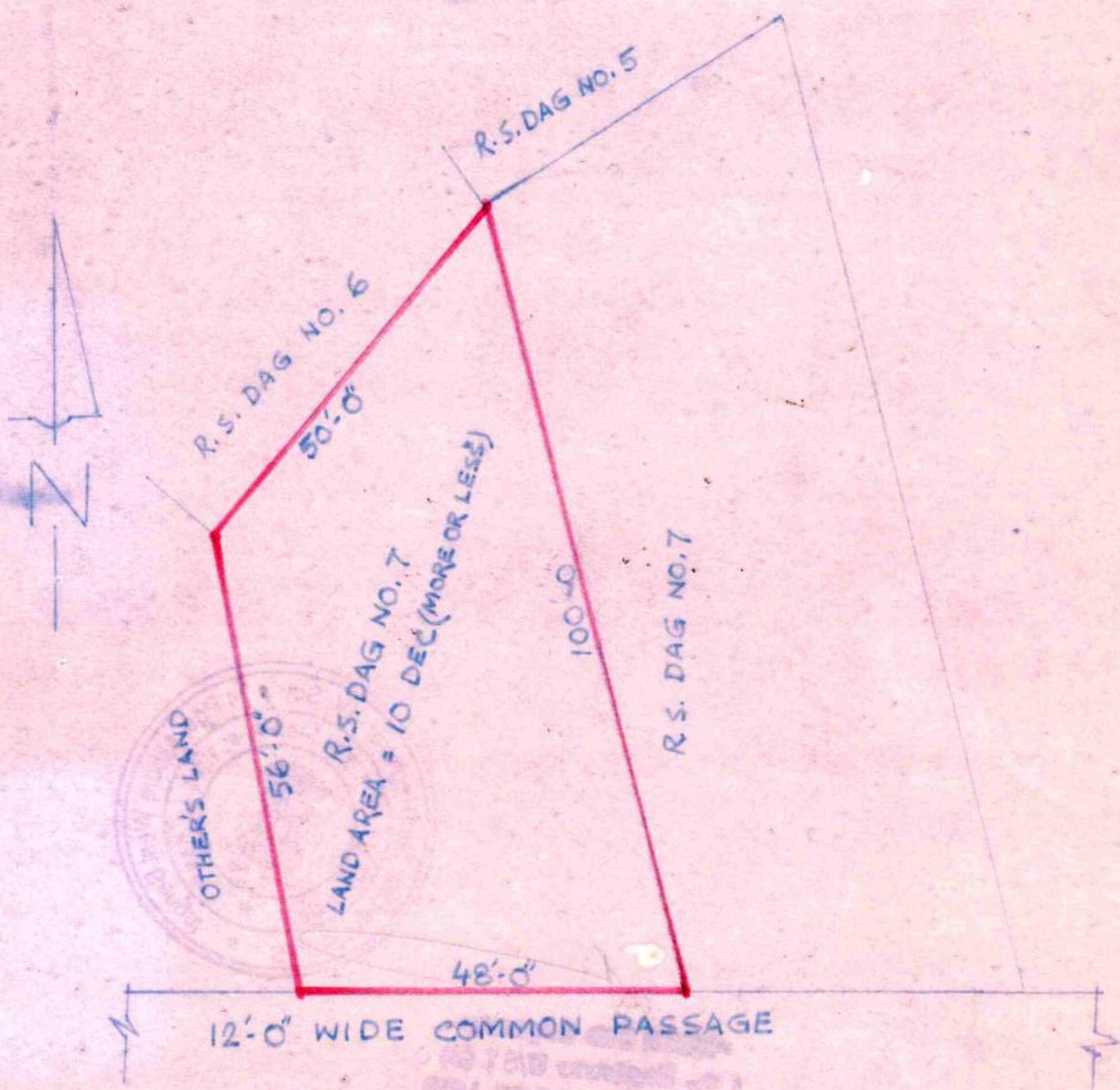
[Signature]
Director
KISHAN M AGARWAL

SIGNATURE OF VENDOR




Alipore Sub-Registrar
For Registrar U/S 7 (b) of
Registration Act 1908
Alipore, South SA Bangalore
27 Oct 2018

DEED PLAN OF MOUZA - GARAGACHA, J.L. NO. 45, R.S. NO. 41, TOUZI NO. 39,
R.S. KHATIAN NO. 3, R.S. DAG NO. 7 UNDER RAJPUR - SONARPUR
MUNICIPALITY, DIST. 24 PARGANAS (SOUTH), P.S. - SONARPUR.
AREA OF LAND = 10 DEC. (MORE OR LESS),



Pawanputra Advisory Services Pvt. Ltd.
Pawanputra
Director

KMA COMMODITIES PVT. LTD.
[Signature]
Director

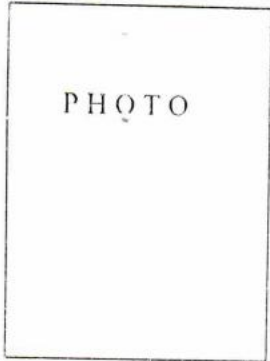


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Sub Registrar -
Registrar U/S (2) of
Registration ACT 1908
South 24 Parganas
27 OCT 2010

KM/A

SPECIMEN FORM FOR TEN FINGERPRINTS



| | | | | | |
|------------|---------------|-------------|---------------|-------------|---------------|
| | Little Finger | Ring Finger | Middle Finger | Fore Finger | Thumb |
| Left Hand | | | | | |
| | Thumb | Fore Finger | Middle Finger | Ring Finger | Little Finger |
| Right Hand | | | | | |



| | | | | | |
|------------|---------------|-------------|---------------|-------------|---------------|
| | Little Finger | Ring Finger | Middle Finger | Fore Finger | Thumb |
| Left Hand | | | | | |
| | Thumb | Fore Finger | Middle Finger | Ring Finger | Little Finger |
| Right Hand | | | | | |

Kishan M Agarwal
(KISHAN M AGARWAL)



| | | | | | |
|------------|---------------|-------------|---------------|-------------|---------------|
| | Little Finger | Ring Finger | Middle Finger | Fore Finger | Thumb |
| Left Hand | | | | | |
| | Thumb | Fore Finger | Middle Finger | Ring Finger | Little Finger |
| Right Hand | | | | | |

Sandeep Kabra



| | | | | | |
|------------|---------------|-------------|---------------|-------------|---------------|
| | Little Finger | Ring Finger | Middle Finger | Fore Finger | Thumb |
| Left Hand | | | | | |
| | Thumb | Fore Finger | Middle Finger | Ring Finger | Little Finger |
| Right Hand | | | | | |



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District Sub Registrar -
South 24 Parganas U/S 7 (2)
Registration ACT 1908
Alipore West, South 24 Parganas
27 OCT 2010



Government Of West Bengal
Office Of the D.S.R.-IV SOUTH 24-PARGANAS
District:-South 24-Parganas

Endorsement For Deed Number : I - 08159 of 2010
(Serial No. 07427 of 2010)

On 27/10/2010

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 18.16 hrs on :27/10/2010, at the Private residence by Sandeep Kabra ,Claimant.

Admission of Execution(Under Section 58,W.B.Registration Rules,1962)

Execution is admitted on 27/10/2010 by

1. Kishan M Agarwal
Director, K.m.a Commodities Pvt Ltd, 11 Lower Range, Thana:-Beniapukur, District:-South 24-Parganas, WEST BENGAL, India, P.O. :- Pin :-700017 .
, By Profession : Business
2. Sandeep Kabra
Director, Pawan Putra Advisory Services Pvt Ltd, 23a Netaji Subhash Rd Room No 17, District:-Kolkata, WEST BENGAL, India, P.O. :- Pin :-700001 .
, By Profession : Business

Identified By Biswanath Ghosh, son of . , High Court Calcutta, District:-Kolkata, WEST BENGAL, India, P.O. :- , By Caste: Hindu, By Profession: Advocate.

(Dulal Chandra Saha)
DISTRICT SUB-REGISTRAR-IV

On 28/10/2010

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 23,4 of Indian Stamp Act 1899. also under section 5 of West Bengal Land Reforms Act, 1955; Court fee stamp paid Rs.10/-

Payment of Fees:

Fee Paid in rupees under article : A(1) = 19239/- ,E = 7/- ,H = 28/- ,M(b) = 4/- on 28/10/2010

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs.-1749600/-

Certified that the required stamp duty of this document is Rs.- 104986 /- and the Stamp duty paid as: Impresive, Rs.-5000/-

Deficit stamp duty

Deficit stamp duty

1. Rs. 49000/- is paid, by the draft number 569422, Draft Date 08/10/2010, Bank Name State Bank of India, NETAJI SUBHAS ROAD BR., received on 28/10/2010

(Dulal Chandra Saha)
DISTRICT SUB-REGISTRAR-IV

28/10/2010 16:30:00

EndorsementPage 1 of 2



Government Of West Bengal
Office Of the D.S.R.-IV SOUTH 24-PARGANAS
District:-South 24-Parganas

Endorsement For Deed Number : I - 08159 of 2010
(Serial No. 07427 of 2010)

2. Rs. 49000/- is paid, by the draft number 569421, Draft Date 08/10/2010, Bank Name State Bank of India, NETAJI SUBHAS ROAD BR., received on 28/10/2010
3. Rs. 2000/- is paid, by the draft number 569473, Draft Date 08/10/2010, Bank Name State Bank of India, NETAJI SUBHAS ROAD BR., received on 28/10/2010

(Dulal Chandra Saha)
DISTRICT SUB-REGISTRAR-IV



(Dulal Chandra Saha)
DISTRICT SUB-REGISTRAR-IV

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I
CD Volume number 28
Page from 1959 to 1974
being No 08159 for the year 2010.




(Dulal Chandra Saha) 28-October-2010
DISTRICT SUB-REGISTRAR-IV
Office of the D.S.R.-IV SOUTH 24-PARGANAS
West Bengal