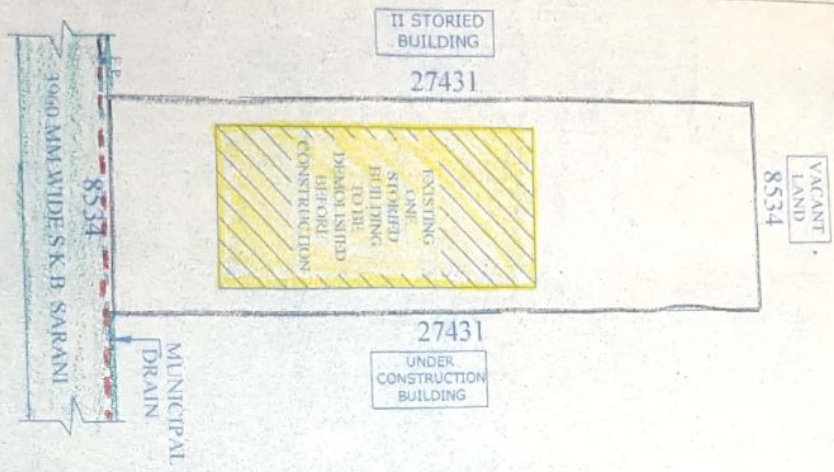
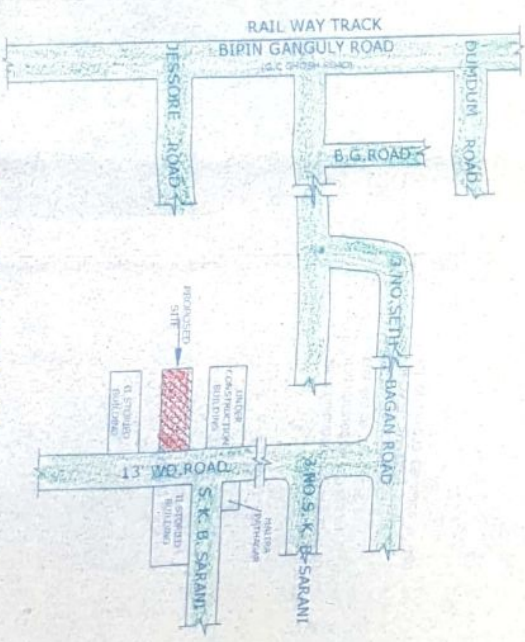




SITE PLAN
SCALE-1:200



LOCATION PLAN
SCALE-N.T.S.



SITE PLAN OF THE PLOT FOR PROPOSED FOUR STORED RESIDENTIAL BUILDING AT HOLDING NO. - 32(NEW),27(OLD) S.K.B. SARANI; R.S.KHATIAN NO.-843; R.S.DAG NO.-2791; C.S.DAG NO.- 372&373(P); C.S.KHATIAN NO.-423;CIRCLE NO.-4; WARD NO.-17; J.L.NO.-23, MOUZA-KALIDAHHA, P.S.-DUMDUM; DIST.- NORTH 24 PGS. UNDER SOUTH DUMDUM MUNICIPALITY.

NATURE OF LAND - BASTU

AREA STATEMENT	
TOTAL AREA OF LAND (AS PER DEED)	= 234.16 SQ.M
TOTAL AREA OF LAND (AS PER MEASUREMENT)	(3 K 8 CH 0 SQ.FT) 234.10 SQ.M
PERMISSIBLE GROUND COVERAGE (63.29% OF LAND AREA)	= 148.16 SQ.M

NAME & ADDRESS OF OWNERS
BEDANA BALA DASI
57, BOSAK BAGAN, PATIPUKUR

1. WE ALSO UNDERTAKE TO REPORT THAT THERE IS NO COURT CASE OR ANY COMPLAINT FROM ANY CORNER IN RESPECT OF OUR PROPERTY AS PER PLAN SOUTH DUMDUM MUNICIPALITY WILL NOT BE LIABLE FOR ANY TYPE OF DISPUTE IF ANSE, IN FUTURE.

2. WE DECLARE AND CONFIRM THAT WE HAVE NO TENANT

(Signature)
(SUSANTA SUR ROY)
Constituted Attorney on behalf of SMT. BEDANABALA DASI
SIGN OF OWNERS

(Signature)
ABHIJIT KUMAR PAL
Licensed Building Surveyor
Class-I License No-SDDM/2011/42015
SIGN OF PLAN MAKER

ALL DIMENSIONS ARE IN MM
SCALE - 1:200

2014/2015

240

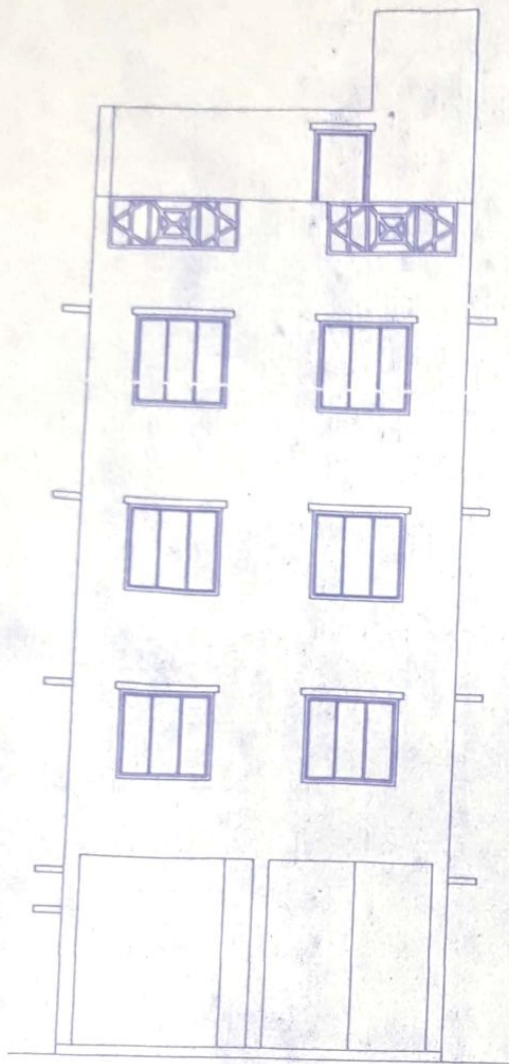


The site plan is approved subject to the conditions that the conditions that the Municipality shall not be held responsible in case any dispute arises out of the title or ownership of the site and no construction work shall be started without obtaining prior sanction of the Building Plan.

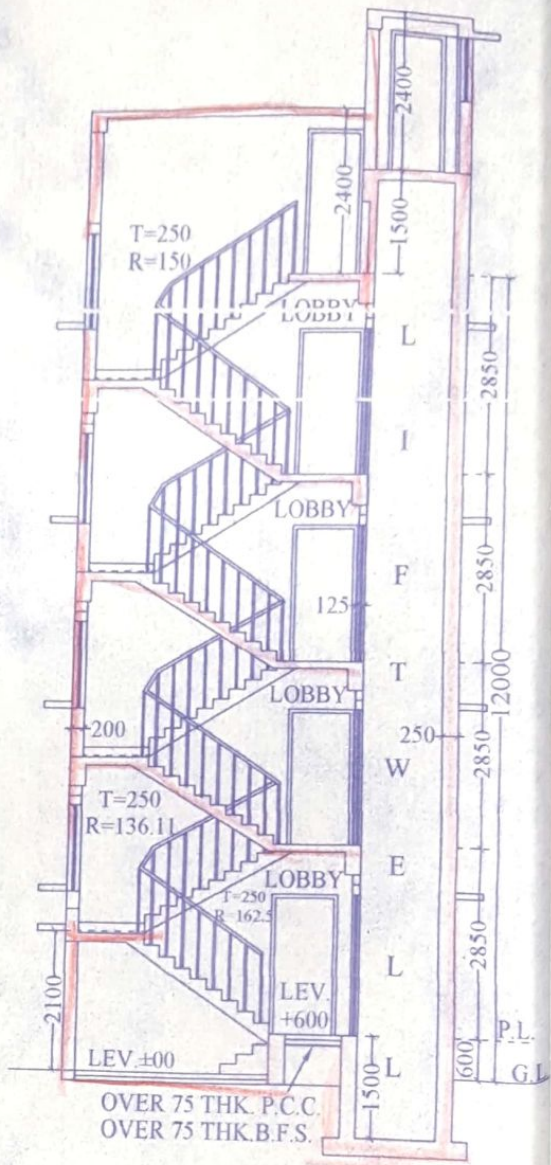
APPROVED

Anjana Rakshit
28/6/14
Chairperson
South Dum Dum Municipality

M. S. S. S.
28.06.14

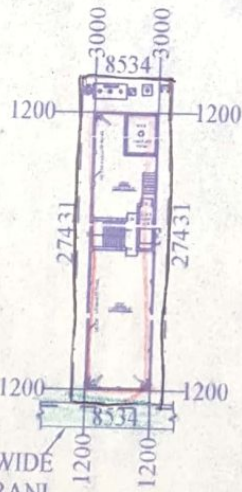
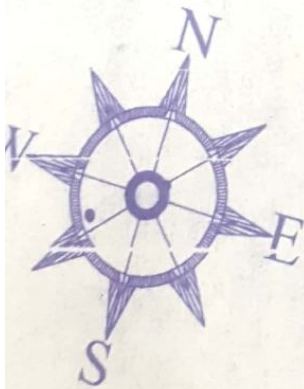


FRONT ELEVATION



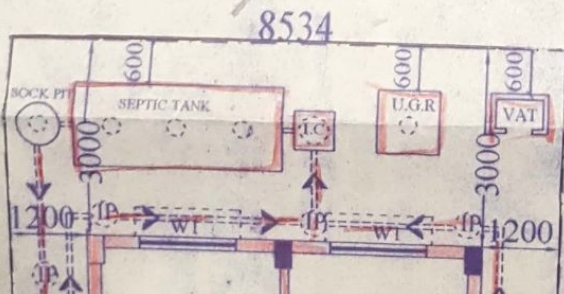
SECTION AT X-X'

OVER 75 THK. P.C.C.
OVER 75 THK. B.F.S.



3960 MM WIDE
S.K.B. SARANI

**SITE PLAN
SCALE-1:600**

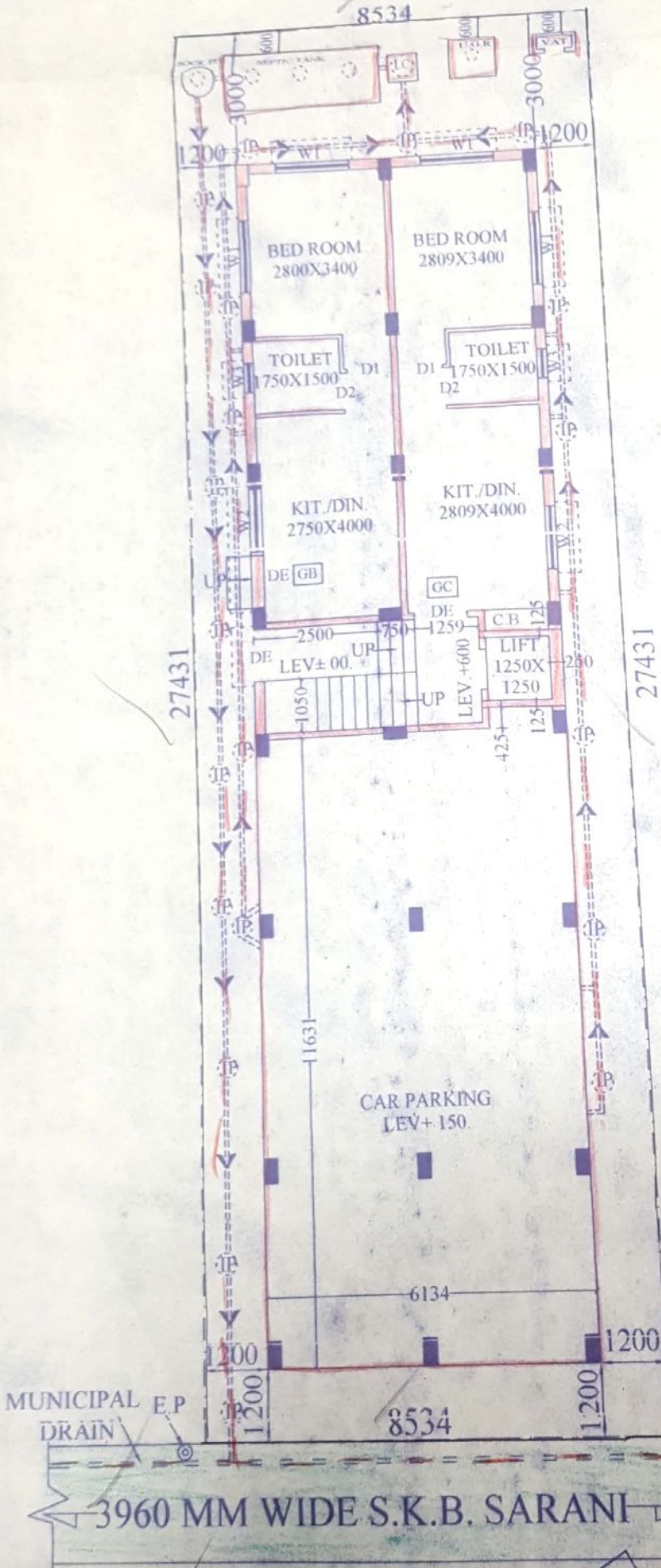


NOTES/SPECIFICATION

1. ALL DIMENSIONS ARE IN METERS
2. DEPTH OF THE FOUNDATION SHALL BE AS PER LOCAL CODES
3. SEPTIC TANK WILL NOT BE ON THE FOUNDATION
4. 200 TH OUTSIDE BRICK WALL & 75 TH INSIDE BRICK WALL
5. RCC WORK WITH STONE
6. GRADE OF CONCRETE SHALL BE AS PER LOCAL CODES
7. PLASTERING WITH CEMENT MORTAR (1:3) FOR BRICKWORK & (1:6) FOR BRICKWORK
8. PLAN CEMENT CONCRETE (6:3:1)
9. LIME TERRACING WITH

**SITE PLAN
SCALE-1:600**

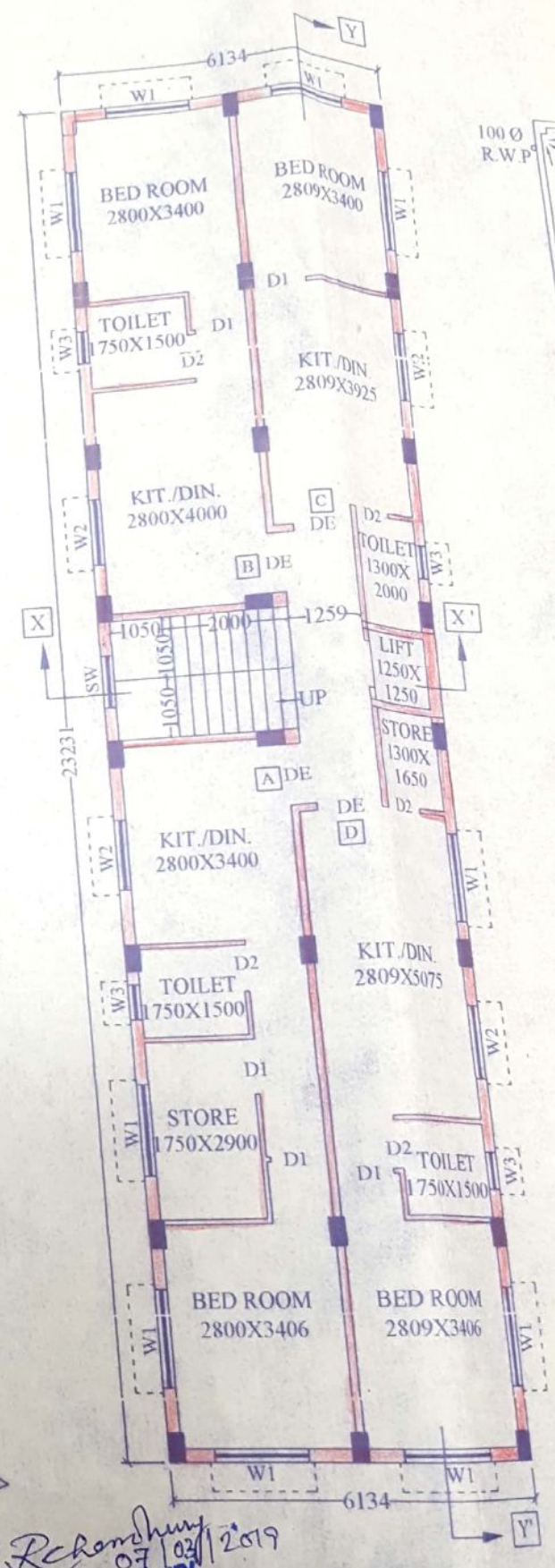
- 4.RCC WORK WITH 3% SLOPE GRADE & MORTER(3-11/2-1)
5. GRADE OF CONCRETE MENT SAND MORTER(1:4) FOR RCC WORK & (1:6) FOR BRICK WORK
- 7.PLAN CEMENT CONCRETE WITH BRICK KHOA,SAND & C (6:3:1)
8. LIME TERRACING WITH BRICK KHOA,SURKI& LIME (7:3:1)



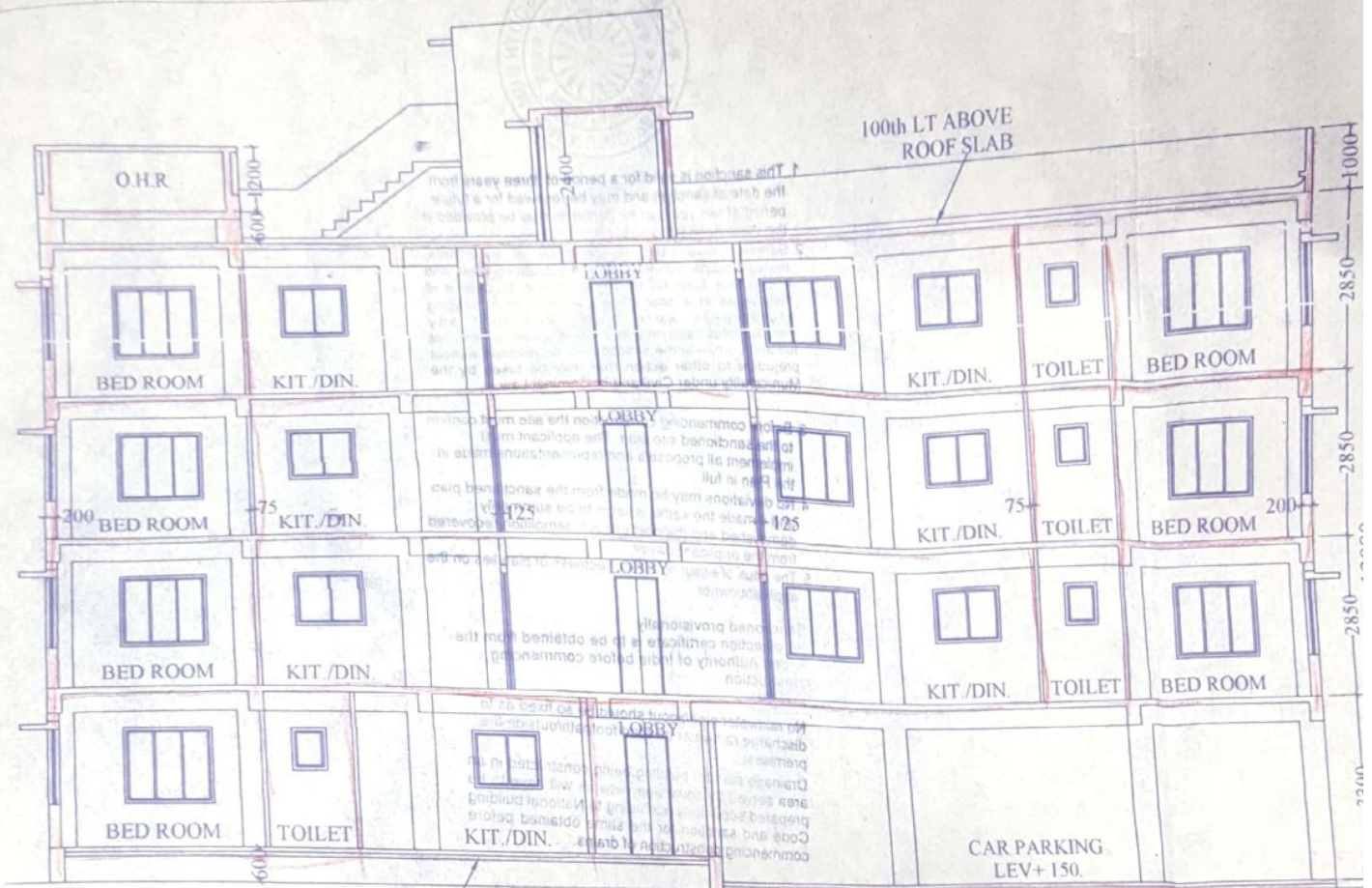
GROUND FLOOR PLAN

Consultant Engineer
South Dum Dum Municipality

Raja Chowdhury
07/03/2019
Sub Assistant Engineer
South Dum Dum Municipality



TYPICAL FLOOR PLAN



OVER 75 THK. P.C.C.
OVER 75 THK.B.F.S.

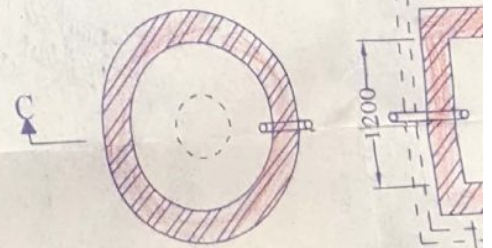
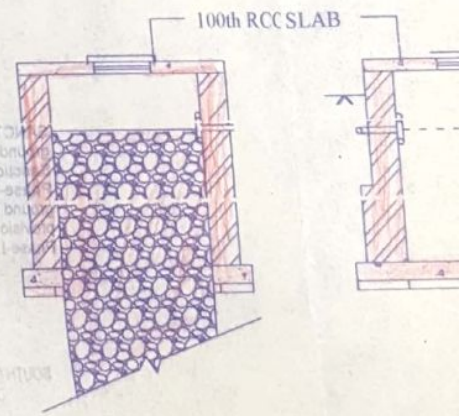
OVER 75 THK. P.C.C.
OVER 75 THK.B.F.S.

SECTION AT Y-Y'

MM. UNLESS OTHERWISE MENTIONED
OF S.U.G. WATER RESERVOIR &
EXCEED THE DEPTH OF THE BUILDING

WORK WITH CEMENT MORTAR(1:6) & 125 th
K WITH CEMENT MORTAR(1:4)
CHIPS, SAND & MORTAR(3:11/2:1)
20 GRADE OF STEEL F415
IENT SAND MORTAR(1:4) FOR RCC
K WORK
TE WITH BRICK KHOA, SAND & CEMENT
BRICK KHOA, SURKI & LIME (7:2:2)

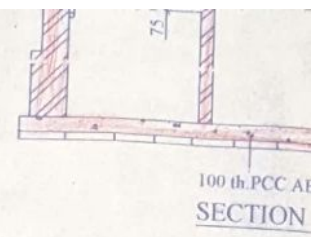
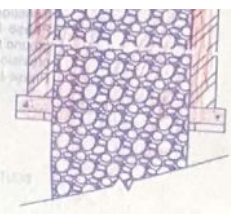
NOTES FOR SEPTIC TANK
NO OF FLATS - 14
NO OF USERS - 42
VOL NEEDED PER USER - 3.5 CFT
TOTAL VOLUME NEEDED - 42 X 3.5 CFT
= 147 CFT
= 4.16 CMT
VOLUME PROVIDED = 4 X 1.2 X 1.35
= 6.48 CMT



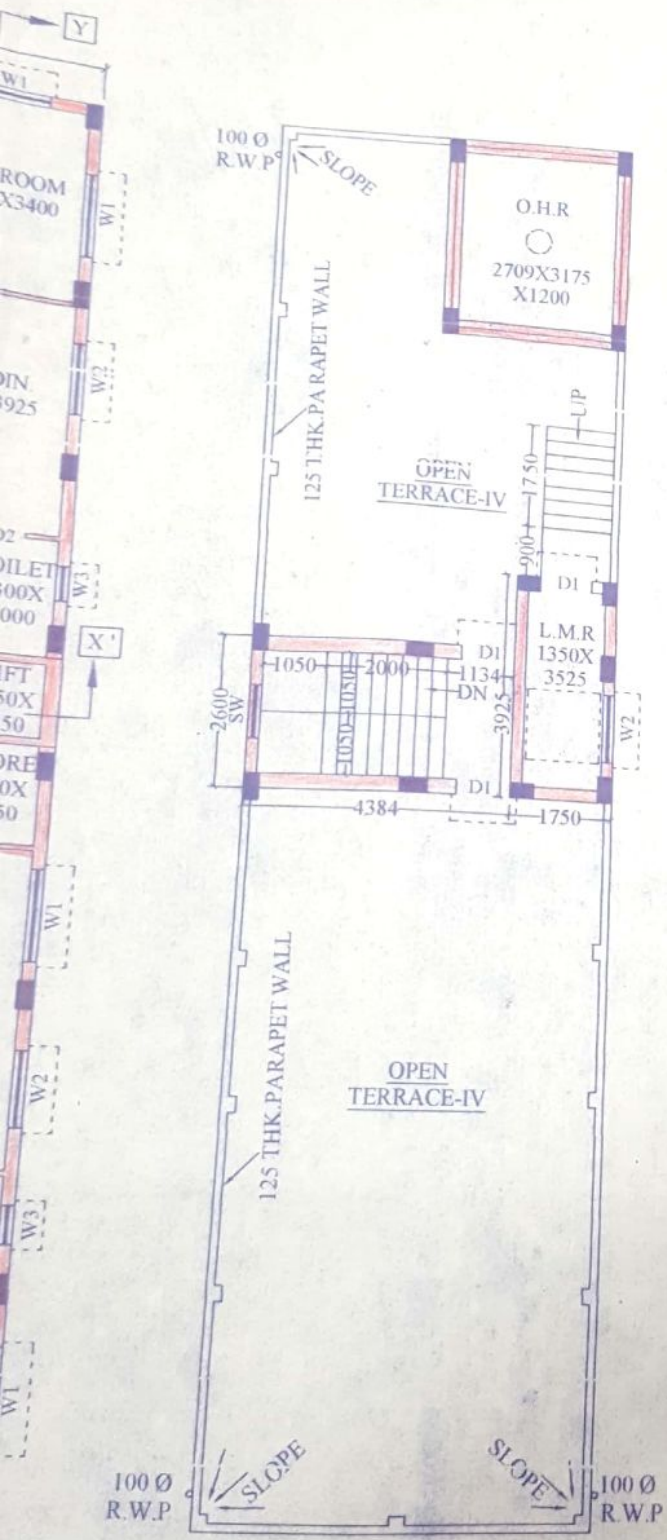
DETAIL

OTHER WISE MENTIONED
 EXCEED THE DEPTH OF THE BUILDING
 WORK WITH CEMENT MORTAR (1:6) & 125 th
 CHIPS, SAND & MORTAR (3:11/2:1)
 GRADE OF STEEL F415
 SAND MORTAR (1:4) FOR RCC
 WORK
 WITH BRICK KHOA, SAND & CEMENT
 (7:2:2)

NO OF USERS - 42
 VOL NEEDED PER USER - 3.5 CFT
 TOTAL VOLUME NEEDED - 42 X 3.5 CFT
 = 147 CFT
 = 4.16 CMT
 VOLUME PROVIDED - 4 X 1.2 X 1.35
 = 6.48 CMT



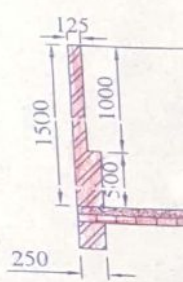
DETAILS OF SOAK
 INSPECTIO



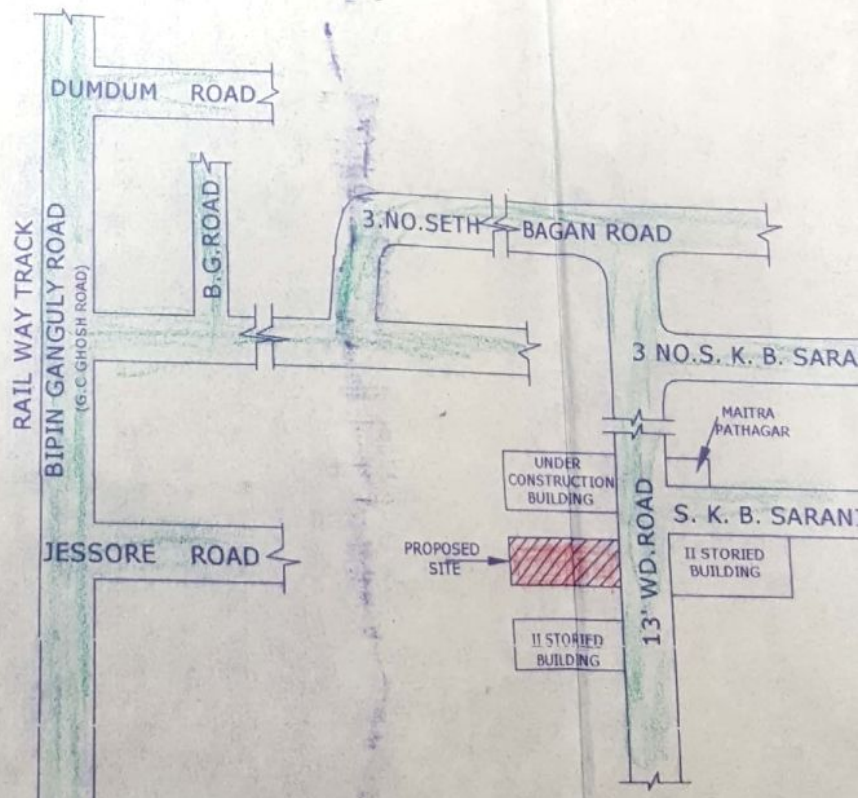
ROOF PLAN

DOOR AND WINDOW SCHEDULE

DOOR MKD.	SIZE	WINDOW MKD.	SIZE
DE	1050X2100	W1	1500X1350
D1	900X2100	W2	1200X1000
D2	750X2100	W3	600X750
		SW	900X1350



SECTION



LOCATION PLAN
 NOT TO SCALE

ADDITION ALTERATION PLAN OF FOUR STORIED RESIDENTIAL BUILDING AT HOLDING NO.-32(NEW), 27(OLD), S.K.B SARANI; R.S. KHATIAN NO.- 843; NEW KHATIAN NO.-1542 (MODIFIED), R.S. DAG NO.-2791; C.S. DAGNO.-372 & 373(P), C.S. KHATIAN NO.-423; CIRCLE NO.-4, WARD NO.-17; J.L. NO.-23, MOUZA-KALIDAHA, P.S.-DUMDUM, DIST.-24 PGS(N), UNDER SOUTH DUM DUM MUNICIPALITY.

PREVIOUS SANCTION PLAN NO.-417; DATE- 11.07.14

AREA STATEMENT

1. TOTAL AREA OF LAND (AS PER MEASUREMENT)	= 234.10 SQ.M.
2. PERMISSIBLE GROUND COVERAGE AREA (63.29 % OF LAND AREA)	= 148.16 SQ.M.
3. PROPOSED COVERED AREA OF GROUND FLOOR	= 142.49 SQ.M.
4. PROPOSED COVERED AREA OF TYPICAL FLOOR	= 142.49 SQ.M.
5. OPEN AREA TO BE PROVIDED	= 85.94 SQ.M.
6. LEFT OPEN AREA PROVIDED	= 91.61 SQ.M.
7. TOTAL COVERED AREA	= 569.96 SQ.M.
8. VOLUME OF PROPOSED CONSTRUCTION	= 1770.0 CU.M.
9. F.A.R = 2.43	10. NO. OF FLATS = 14
11. AREA OF CAR PARKING REQUIRED	= 71.25 SQ.M.
12. AREA OF CAR PARKING PROVIDED	= 71.98 SQ.M.

CERTIFICATE OF OWNER

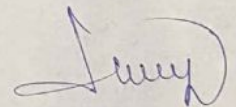
CERTIFIED THAT I/WE SHALL NOT ON LATER DATE MAKE ADDITION OR ALTERATION TO THIS PLAN SO AS TO CONVERT IT TO BE USED FOR SEPARATE FLATS PER FLOOR PER STORY.

CERTIFIED THAT I/WE HAVE GONE THROUGH THE BUILDING RULES OF SOUTH DUMDUM MUNICIPALITY AND ALSO UNDERTAKE TO ABIDE BY THOSE RULES DURING AND AETER CONSTRUCTION OF THE BUILDING.

CERTIFIED THAT I/WE ALSO UNDERTAKE TO REPORT OF COMMENCEMENT BEFORE SEVEN DAYS AND COMPLETION WOULD BE REPORTED WITHIN THIRTY DAYS.

I/WE ALSO UNDERTAKE TO REPORT THAT THERE IS NO COURT CAES OF ANY COMPLAIN FROM ANY CORNER IN RESPECT OF OUR PROPERTY AS PER PLAN, SOUTH DUMDUM MUNICIPALITY WILL NOT BE LIABLE FOR ANY TYPE OF DISPUTE IF ARISES IN FUTURE.

WE DECLARE AND CONFIRM THAT WE HAVE NO TENANT.



(Susanta Sur Roy)
as Constituted Attorney on
behalf of SMT. SIKHA SHOW

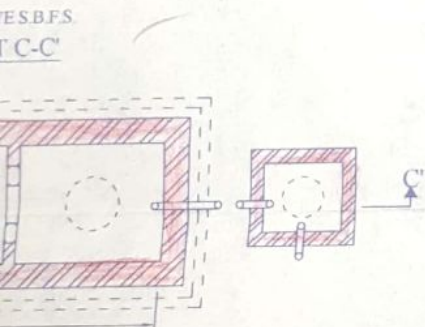
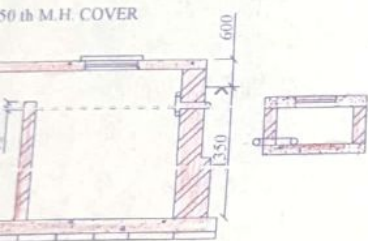
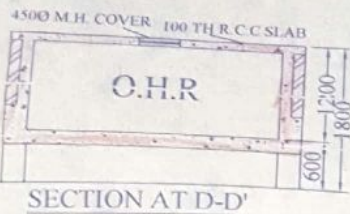
SIGN. OF OWNER

CERTIFICATE OF ENGINEER

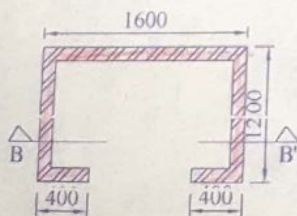
CERTIFIED THAT THE FOUNDATION AND THE SUPERSTRUCTURE OF THE BUILDING HAVE SO DESIGNED BY ME AS TO SAFE IN ALL RESPECTS INCLUDING YHE CONSIDERATION OF THE BEARING CAPACITY AND SETTLEMENT OF THE SOIL ETC. AS PER I.S. STANDARD AND N.B.CODE.

CERTIFIED THAT THE BUILDING HAS BEEN DESIGNED AND DRAWN UP STRICTLY ACCORDING TO THE BUILDING RULES FOR SOUTH DUMDUM MUNICIPALITY.

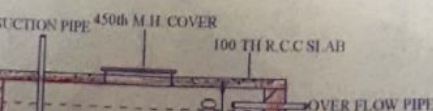
I, AS STRUCTURAL DESIGNER HERE BY CERTIFIED THAT I, INDEMNIFY SOUTH DUMDUM MUNICIPALITY FROM ANY STRUCTURAL DEFECT AND OR FAILURE OF THE PROPOSED

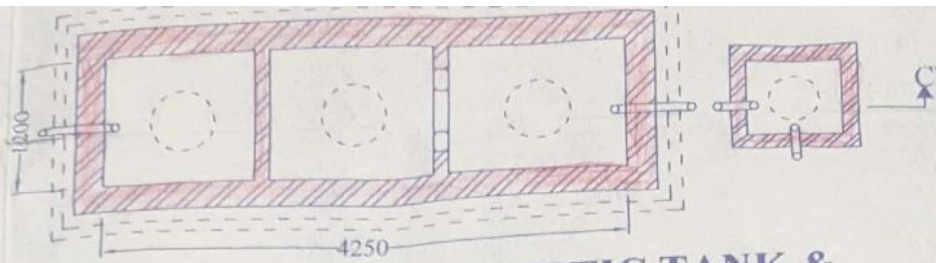
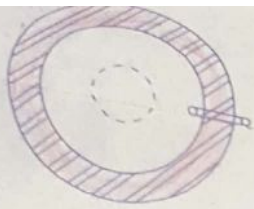


VAT, SEPTIC TANK & CHAMBER



DETAIL OF VAT NOT TO SCALE

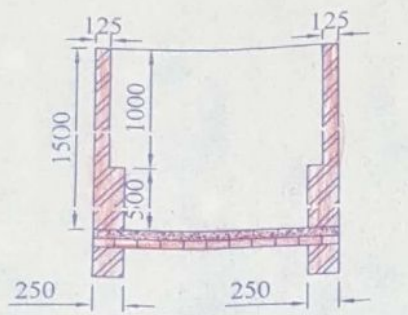




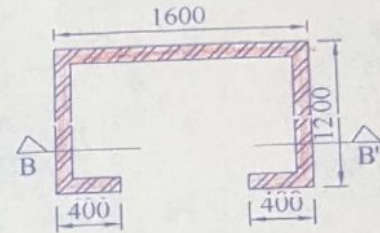
DETAILS OF SOAK PIT, SEPTIC TANK & INSPECTION CHAMBER

WINDOW SCHEDULE

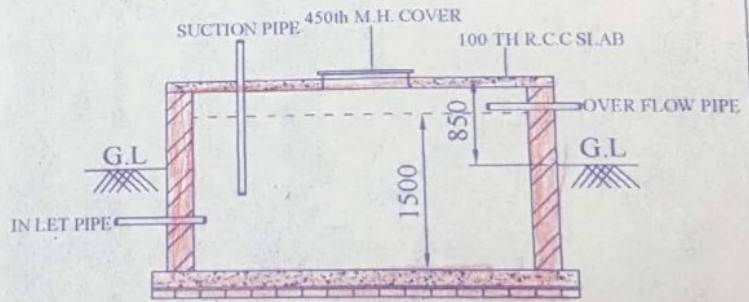
NO.	WINDOW MKD.	SIZE
2100	W1	1500X1350
100	W2	1200X1000
00	W3	600X750
	SW	900X1350



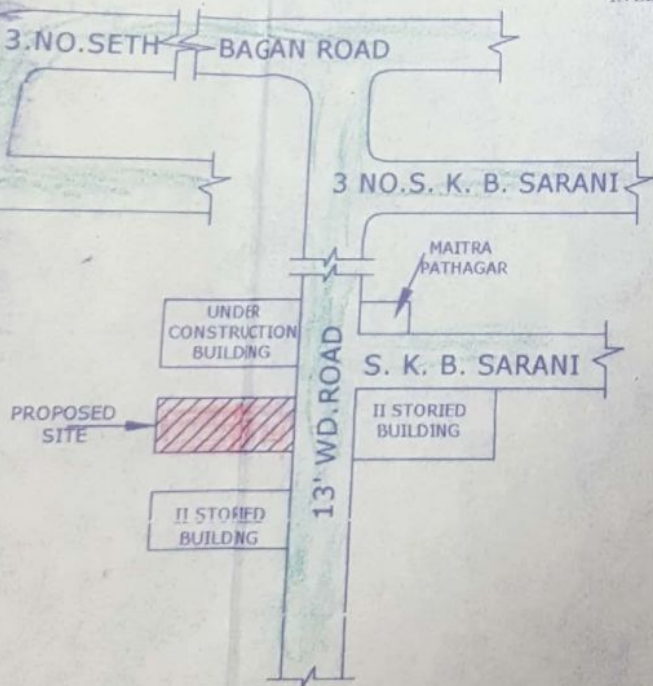
SECTION AT A-A'



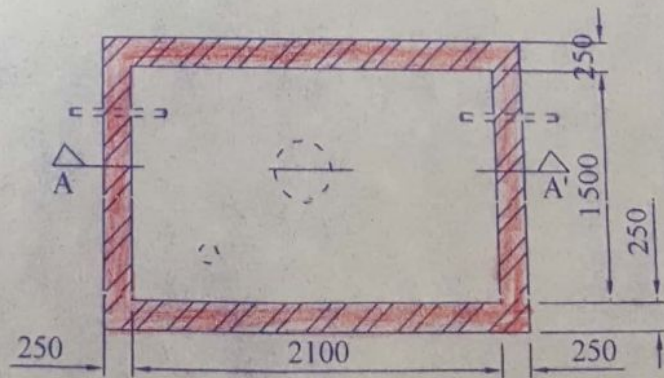
DETAIL OF VAT NOT TO SCALE



SECTION AT A-A'



LOCATION PLAN TO SCALE



DETAIL OF U.G.R NOT TO SCALE

MUNICIPALITY
CONSTRUCTION
CERTIFIED THAT
AND COMPLETE
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CORNER IN RE
LIABLE FOR A
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AS TO CONVERT IT TO BE USED FOR SEPARATE FLATS PER FLOOR PER STORY
 CERTIFIED THAT I/WE HAVE GONE THROUGH THE BUILDING RULES OF SOUTH DUMDUM MUNICIPALITY AND ALSO UNDERTAKE TO ABIDE BY THOSE RULES DURING AND AFTER CONSTRUCTION OF THE BUILDING.

CERTIFIED THAT I/WE ALSO UNDERTAKE TO REPORT OF COMMENCEMENT BEFORE SEVEN DAYS AND COMPLETION WOULD BE REPORTED WITHIN THIRTY DAYS

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WE DECLARE AND CONFIRM THAT WE HAVE NO TENANT.

Susanta Sur Roy

(Susanta Sur Roy)
 as Constituted Attorney on
 behalf of SMT. SIKHA SHOW

SIGN. OF OWNER

CERTIFICATE OF ENGINEER

CERTIFIED THAT THE FOUNDATION AND THE SUPERSTRUCTURE OF THE BUILDING HAVE SO DESIGNED BY ME AS TO SAFE IN ALL RESPECTS INCLUDING THE CONSIDERATION OF THE BEARING CAPACITY AND SETTLEMENT OF THE SOIL ETC. AS PER I.S. STANDARD AND N.B. CODE.

CERTIFIED THAT THE BUILDING HAS BEEN DESIGNED AND DRAWN UP STRICTLY ACCORDING TO THE BUILDING RULES FOR SOUTH DUMDUM MUNICIPALITY.

I, AS STRUCTURAL DESIGNER HERE BY CERTIFIED THAT I, INDEMNIFY SOUTH DUMDUM MUNICIPALITY FROM ANY STRUCTURAL DEFECT AND OR FAILURE OF THE PROPOSED BUILDING DURING OR AFTER CONSTRUCTION.

HOWEVER, STRUCTURAL DESIGN AND CALCULATION ARE SUBMITTED FOR REFERENCE AND RECORD.

Piyal Goswami
PIYAL GOSWAMI
 Licensed Building Surveyer
 Class-I
 L. No.-S.D.D.M./5/2018-2019

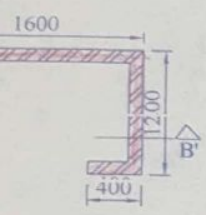
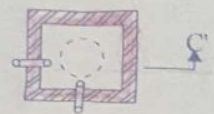
Piyal Goswami
PIYAL GOSWAMI
 Enlisted Structural Engineer
 L. No.-S.D.D.M./8/2018-2019

SIGN. OF PLANMAKER

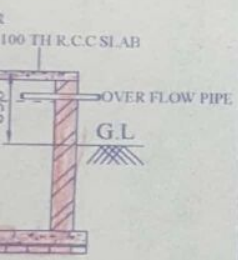
SIGN. OF ENGINEER

SCALE
 1:100, 1:600

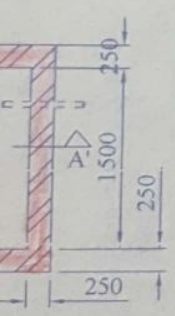
ALL DIMENSIONS ARE IN MM.
 UNLESS NOTED OTHERWISE



IL OF VAT
 TO SCALE



A-A'



G.R
 E

ADDITION ALTERATION PLAN OF FOUR STORIED RESIDENTIAL BUILDING AT HOLDING NO.-32(NEW), 27(OLD), S.K.B SARANI; R.S. KHATIAN NO.- 843; NEW KHATIAN NO.-1542 (MODIFIED), R.S. DAG NO.-2791; C.S. DAGNO.-372 & 373(P) , C.S. KHATIAN NO.-423;CIRCLE NO.-4, WARD NO.-17; J.L. NO.-23,MOUZA-KALIDAHA,P.S.-DUMDUM, DIST.-24 PGS(N), UNDER SOUTH DUM DUM MUNICIPALITY.

PREVIOUS SANCTION PLAN NO.-417; DATE- 11.07.14

AREA STATEMENT

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2. PERMISSIBLE GROUND COVERAGE AREA (63.29 % OF LAND AREA)	= 148.16 SQ.M.
3. PROPOSED COVERED AREA OF GROUND FLOOR	= 142.49 SQ.M.
4. PROPOSED COVERED AREA OF TYPICAL FLOOR	= 142.49 SQ.M.
5. OPEN AREA TO BE PROVIDED	= 85.94 SQ.M.
6. LEFT OPEN AREA PROVIDED	= 91.61 SQ.M.
7. TOTAL COVERED AREA	= 569.96 SQ.M.
8. VOLUMN OF PROPOSED CONSTRUCTION	= 1770.0 CU.M.
9. F.A.R = 2.43	10. NO. OF FLATS = 14
11. AREA OF CAR PARKING REQUIRED	= 71.25 SQ.M.
12. AREA OF CAR PARKING PROVIDED	= 71.98 SQ.M.

CERTIFICATE OF OWNER

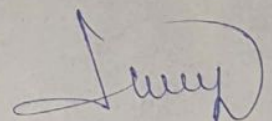
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CERTIFIED THAT I/WE HAVE GONE THROUGH THE BUILDING RULES OF SOUTH DUMDUM MUNICIPALITY AND ALSO UNDERTAKE TO ABIDE BY THOSE RULES DURING AND AETER CONSTRUCTION OF THE BULDING.

CERTIFIED THAT I/WE ALSO UNDERTAKE TO REPORT OF COMMENCEMENT BEFORE SEVEN DAYS AND COMPLETION WOULD BE REPORTED WITHIN THIRTY DAYS

I/WE ALSO UNDERTAKE TO REPORT THAT THERE IS NO COURT CAES OF ANY COMPLAIN FROM ANY CORNER IN RESPECT OF OUR PROPERTY AS PER PLAN, SOUTH DUMDUM MUNICIPALITY WILL NOT BE LIABLE FOR ANY TYPE OF DISPUTE IF ARISES IN FUTURE.

WE DECLARE AND CONFIRM THAT WE HAVE NO TENANT.



(Susanta Sur Roy)
as Constituted Attorney on
behalf of SMT. SIKHA SHOW

SIGN. OF OWNER



1. This sanction is valid for a period of three years from the date of sanction and may be renewed for a future period of two years or for period as may be provided in the West Bengal Municipal Act, 1993.
2. Sanction is granted on the basis of statements, representations, disclosures & declarations made and information supplied by the applicant. In case it is discovered at a later stage that false or misleading statements were made and that any disclosure/declaration was misleading and/or was not full and complete the sanction will be revoked without prejudice to other action that may be taken by the Municipality under Civil and/or Criminal Law.
3. Before commencing construction the site must confirm to the sanctioned site plan. The applicant must implement all proposals and representations made in the Plan in full.
4. No deviations may be made from the sanctioned plan and if made the same is liable to be summarily demolished and the cost of such demolition recovered from the applicant/owner.
5. The onus of ensuring the correctness of plan lies on the applicant/owner

Sanctioned provisionally
 No objection certificate is to be obtained from the Airport Authority of India before commencing construction.

No rainwater pipe/spout should be so fixed as to discharge rainwater on road/footpath/outside the premises.

Drainage plan for building being constructed in an area served by sewerage network will have to be prepared separately according to National building Code and sanction for the same obtained before commencing construction of drains.

Within one month after completion of the erection of a building or the execution of any work the owner of this building must submit a notice of compliance with provisions contained in Rule 32 of the West Bengal Building Rules, 2007. Failure to do so will attract severe penal measures.

No person may occupy or permit to be occupied a building erected or re-erected or altered under the West Bengal municipal Act, 1993 without obtaining an Occupancy Certificate issued by this Municipality.

PHASE-I

SANCTIONED Provisionally up to ground floor roof casting Final Sanction will be accorded in Phase-II after Completion of ground floor RCC structure as per provisionally sanctioned plan in Phase-I.

[Handwritten Signature]
 29.04.2019

CHAIRMAN
 SOUTH DUM DUM MUNICIPALITY
 DATE.....

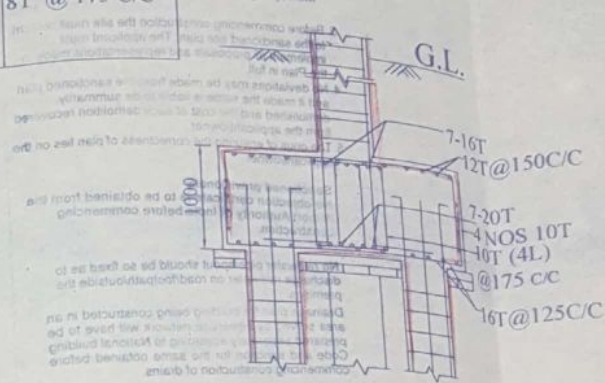
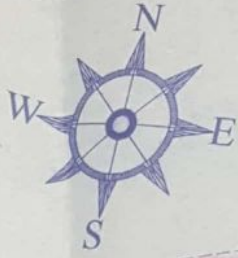
[Handwritten Signature]
 29/04/19

COLUMN SCHEDULE

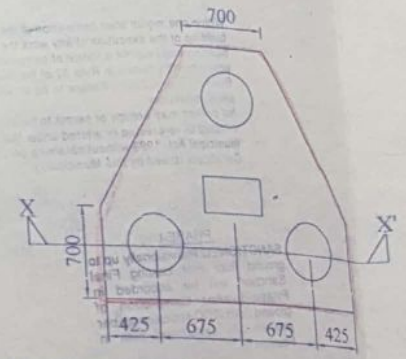
GROUP MKD.	COLUMN MARKED	SECTION & STEEL		REST PART	LATERAL TIES
		FROM BOTTOM UPTO 1ST FLOOR LEVEL	FROM 1ST TO 3RD FLOOR LEVEL		
I	C1,C3,C22,C24	250X450 6-16T+2-12T	250X450 6-16T+2-12T	250X400 6-16T+2-12T	8T @ 175 C/C
II	C10,C11,C12,C13,C14,C15	250X450 8-16T+2-12T	250X450 8-16T	250X450 6-16T+2-12T	8T @ 175 C/C
III	C2,C4,C5,C6,C7,C8,C9,C16,C17,C18,C19,C20,C21,C23	250X450 8-16T	250X450 6-16T+2-12T	250X450 6-16T+2-12T	8T @ 175 C/C

BEAM SCHEDULE

BM MKD	SIZE	STEEL IN SUPPORT		STEEL IN SPAN		STIFFENERS
		TOP	BOT	TOP	BOT	
B1	250X450	3-16T +2-12T	3-16T	3-16T	3-16T	8T @
B2	250X450	5-16T	3-16T	3-16T	5-16T	8T @
B3	250X450	3-16T	4-16T	3-16T	4-16T	8T @



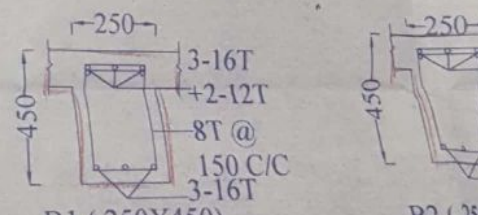
SECTION AT X-X'



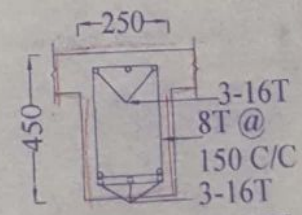
PILE CAP WITH 3 NOS. -450

R.C.C. PILE

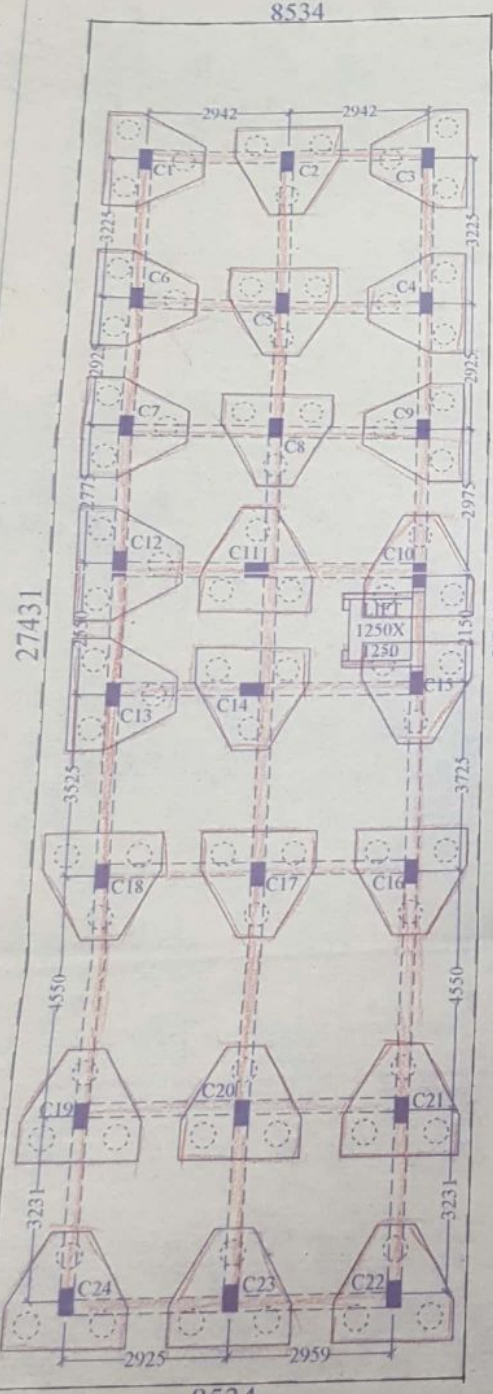
NOT TO SCALE



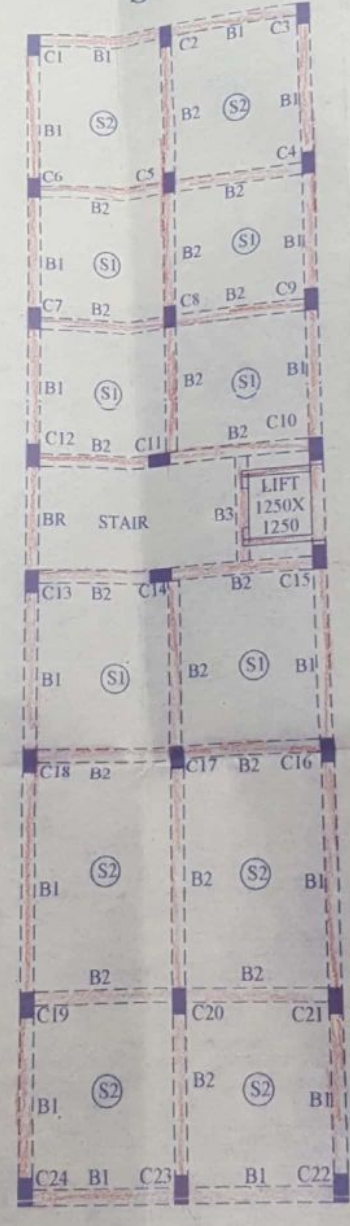
B1 (250X450) AT SUPPORT



B1 (250X450) AT SPAN



FOUNDATION AND TIE BEAM LAYOUT PLAN



SLAB BEAM LAYOUT PLAN

B2 (250X450) AT SUPPORT

B2 (250X450) AT SPAN

B2 (250X450) AT SUPPORT

B2 (250X450) AT SPAN

BEAM SCHEDULE

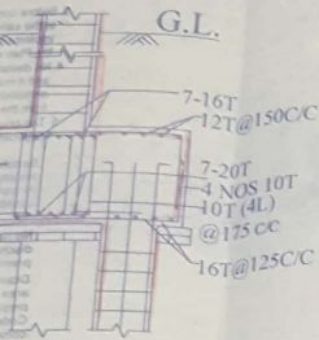
SIZE	STEEL IN SUPPORT		STEEL IN SPAN		STIRRUP
	TOP	BOT	TOP	BOT	
250X450	3-16T	3-16T	3-16T	3-16T	8T @ 150 C/C
250X450	5-16T	3-16T	3-16T	5-16T	8T @ 130 C/C
250X450	3-16T	4-16T	3-16T	4-16T	8T @ 130 C/C

SLAB SCHEDULE

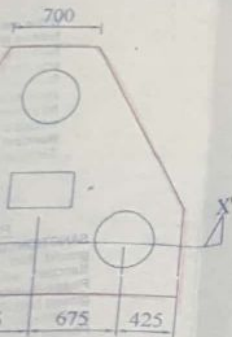
PANEL	THK	REINFORCEMENT SPACING			
		S _x	S _y	S _x	S _y
S1	110	150	150	150	150
S2	110	100	100	100	100

4500 R.C.C PILES ARE PROVIDED
LENGTH 18M, CUT OFF=1.5M
STEEL=6 NOS 16T
BINDER=8T@150 C/C

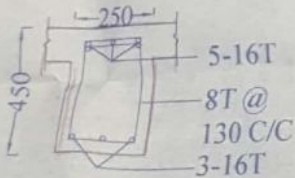
TIE-BEAM SECTION=250X450
STEEL AT TOP=4-16T
STEEL AT BOTTOM=4-16T
STIRRUPS=8T@125 C/C



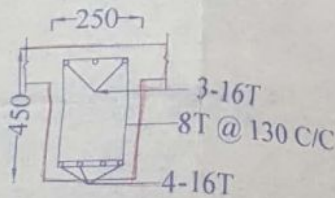
ON AT X-X'



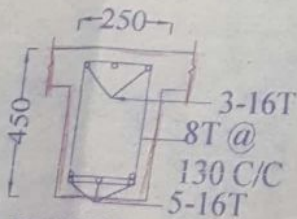
WITH 3 NOS. 450 Ø
C. PILE
SCALE



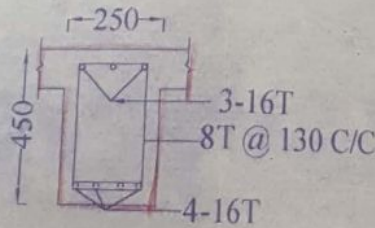
**B2 (250X450)
AT SUPPORT**



**B3 (250X450)
AT SUPPORT**



**B2 (250X450)
AT SPAN**



**B3 (250X450)
AT SPAN**

8T @ 150C/C BOTH WAY
ALTERNATIVELY CRANK

250X400
3-16(T)
+3-16(B)

10T @ 200C/C
BOTH WAY(T+B)
STAGGERD

10T@150 C/C
ZIGZAG BOTH SIDE
ABOVE P.L.

8T@200C/C

12T @ 150 C/C UP TO
P.L. LEV. BOTH SIDE

12T @ 150 C/C B/W
TOP & BOT.

**DETAILS OF LIFT WELL
NOT TO SCALE**

**ADDITION ALTERATION PLAN OF FOUR STORED
RESIDENTIAL BUILDING AT HOLDING NO.-32
(NEW), 27(OLD), S.K.B SARANI; R.S. KHATIAN
NO.-843; NEW KHATIAN NO.-1542 (MODIFIED),
R.S. DAG NO.-2791; C.S. DAGNO.-372 & 373(P),
C.S. KHATIAN NO.-423; CIRCLE NO.-4, WARD
NO.-17; J.L. NO.-23, MOUZA-KALIDAHHA, P.S.-
DUM DUM, DIST.-24 PGS(N), UNDER SOUTH DUM
DUM MUNICIPALITY.**

PREVIOUS SANCTION PLAN NO.-417; DATE- 11.07.14

AREA STATEMENT

- TOTAL AREA OF LAND (AS PER MEASUREMENT) = 234.10 SQ.M.
- PERMISSIBLE GROUND COVERAGE AREA (63.29 % OF LAND AREA) = 148.16 SQ.M.
- PROPOSED COVERED AREA OF GROUND FLOOR = 142.49 SQ.M.
- PROPOSED COVERED AREA OF TYPICAL FLOOR = 142.49 SQ.M.
- OPEN AREA TO BE PROVIDED = 85.94 SQ.M.
- LEFT OPEN AREA PROVIDED = 91.61 SQ.M.
- TOTAL COVERED AREA = 569.96 SQ.M.
- VOLUME OF PROPOSED CONSTRUCTION = 1770.0 CU.M.
- F.A.R = 2.43
- NO OF FLATS = 14
- AREA OF CAR PARKING REQUIRED = 71.25 SQ.M.
- AREA OF CAR PARKING PROVIDED = 71.98 SQ.M.

CERTIFICATE OF OWNER

CERTIFIED THAT I/WE SHALL NOT ON LATER DATE MAKE ADDITION OR ALTERATION TO THIS PLAN SO AS TO CONVERT IT TO BE USED FOR SEPARATE FLATS PER FLOOR

CERTIFIED THAT I/WE HAVE GONE THROUGH THE BUILDING RULES OF SOUTH DUMDUM MUNICIPALITY AND ALSO UNDERTAKE TO ABIDE BY THOSE RULES DURING AND AETER CONSTRUCTION OF THE BUILDING.

CERTIFIED THAT I/WE ALSO UNDERTAKE TO REPORT OF COMMENCEMENT BEFORE SEVEN DAYS AND COMPLETION WOULD BE REPORTED WITHIN THIRTY DAYS.

I/WE ALSO UNDERTAKE TO REPORT THAT THERE IS NO COURT CAES OF ANY COMPLAIN FROM ANY CORNERIN RESPECT OF OUR PROPERTY AS PER PLAN, SOUTH DUMDUMMUNICIPALITY WILL NOT BE LIABLE FOR ANY TYPE OF DISPUTE IF ARISES IN FUTURE

WE DECLARE AND CONFIRM THAT WE HAVE NO TENANT.

Susanta Sur Roy
(Susanta Sur Roy)
as Constiuted Attorney on
behalf of SMT. SIKHA SHOW

SIGN. OF OWNER

CERTIFICATE OF ENGINEER

CERTIFIED THAT THE FOUNDATION AND THE SUPERSTRUCTURE OF THE BUILDING HAVE SO DESIGNED BY ME AS TO SAFE IN ALL RESPECTS INCLUDING YHE CONSIDERATION OF THE BEARING CAPACITY AND SETTLEMENT OF THE SOIL ETC.AS PER I.S. STANDARD AND N.B.CODE.

CERTIFIED THAT THE BUILDING HAS BEEN DESIGNED AND DRAWN UP STRICTY ACCORDING TO THE BUILDING RULES FOR SOUTH DUMDUM MUNICIPALITY.

I, AS STRUCTURAL DESIGNER HERE BY CERTIFIED THAT I, INDEMNIFY SOUTH DUMDUM MUNICIPALITY FROM ANY STRUCTURAL DEFECT AND OR FAILUREOF THE PROPOSED BUILDING DURING OR AFTER CONSTRUCTION.

HOWEVER, STRUCTURAL DESIGN AND CALCULATION ARE SUBMITTED FOR REFERENCE AND RECORD.

Piyal Goswami
PIYAL GOSWAMI
Licensed Building Surveyer
Class-I
L. No.-S.D.D.M./15/2013-2019
SIGN. OF PLANMAKER

Piyal Goswami
PIYAL GOSWAMI
Enlisted Structural Engineer
L. No.-S.D.D.M./8/2018-2019

SIGN. OF ENGINEER

SCALE
1:100

ALL DIMENSIONS ARE IN MM.
UNLESS NOTED OTHERWISE



1. This sanction is valid for a period of three years from the date of sanction and may be renewed for a future period of two years or for period as may be provided in the West Bengal Municipal Act, 1993.
2. Sanction is granted on the basis of statements, representations, disclosures & declarations made and information supplied by the applicant. In case it is discovered at a later stage that false or misleading statements were made and that any disclosure/declaration was misleading and/or was not full and complete the sanction will be revoked without prejudice to other action that may be taken by the Municipality under Civil and/or Criminal Law.
3. Before commencing construction the site must confirm to the sanctioned site plan. The applicant must implement all proposals and representations made in the Plan in full.
4. No deviations may be made from the sanctioned plan and if made the same is liable to be summarily demolished and the cost of such demolition recovered from the applicant/owner.
5. The onus of ensuring the correctness of plan lies on the applicant/owner.

Sanctioned provisionally
No objection certificate is to be obtained from the Airport Authority of India before commencing construction.

No rainwater pipe/spout should be so fixed as to discharge rainwater on road/footpath/outside the premises.

Drainage plan for building being constructed in an area served by sewerage network will have to be prepared separately according to National building Code and sanction for the same obtained before commencing construction of drains.

Within one month after completion of the erection of a building or the execution of any work the owner of this building must submit a notice of compliance with provisions contained in Rule 32 of the West Bengal Building Rules, 2007. Failure to do so will attract severe penal measures.

No person may occupy or permit to be occupied a building erected or re-erected or altered under the West Bengal Municipal Act, 1993 without obtaining an Occupancy Certificate issued by this Municipality.

PHASE-I

SANCTIONED Provisionally up to ground floor roof casting Final Sanction will be accorded in Phase-II after Completion of ground floor RCC structure as per provisionally sanctioned plan in Phase-I.

Seal 29.04.2019
CHAIRMAN
SOUTH DUM DUM MUNICIPALITY
DATE.....

Chairman
29/04/19