

AREA STATEMENT

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

TABLE OF CONTENTS

1. AREA STATEMENT	10
2. GENERAL NOTES	11
3. ELECTRICAL SYMBOLS	12
4. ELECTRICAL SCHEDULE	13
5. ELECTRICAL LAYOUT	14
6. ELECTRICAL CONNECTIONS	15
7. ELECTRICAL INSTALLATION	16
8. ELECTRICAL TESTING	17
9. ELECTRICAL MAINTENANCE	18
10. ELECTRICAL SAFETY	19

DATE: 10/10/2010

PROJECT: [REDACTED]

CLIENT: [REDACTED]

DESIGNER: [REDACTED]

FOR THE BOARD OF DIRECTORS

[REDACTED]

FOR THE BOARD OF DIRECTORS

[REDACTED]

FOR THE BOARD OF DIRECTORS

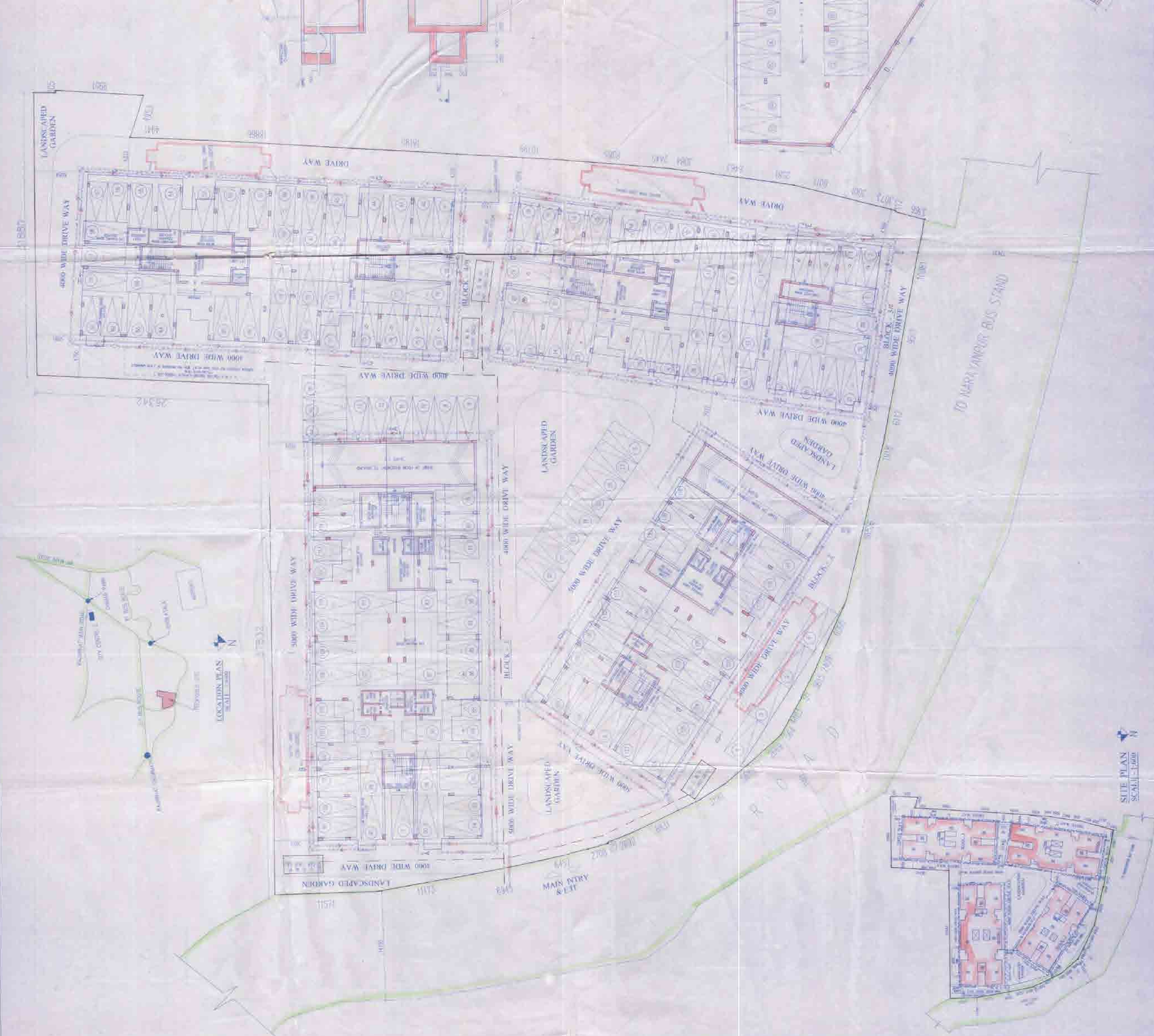
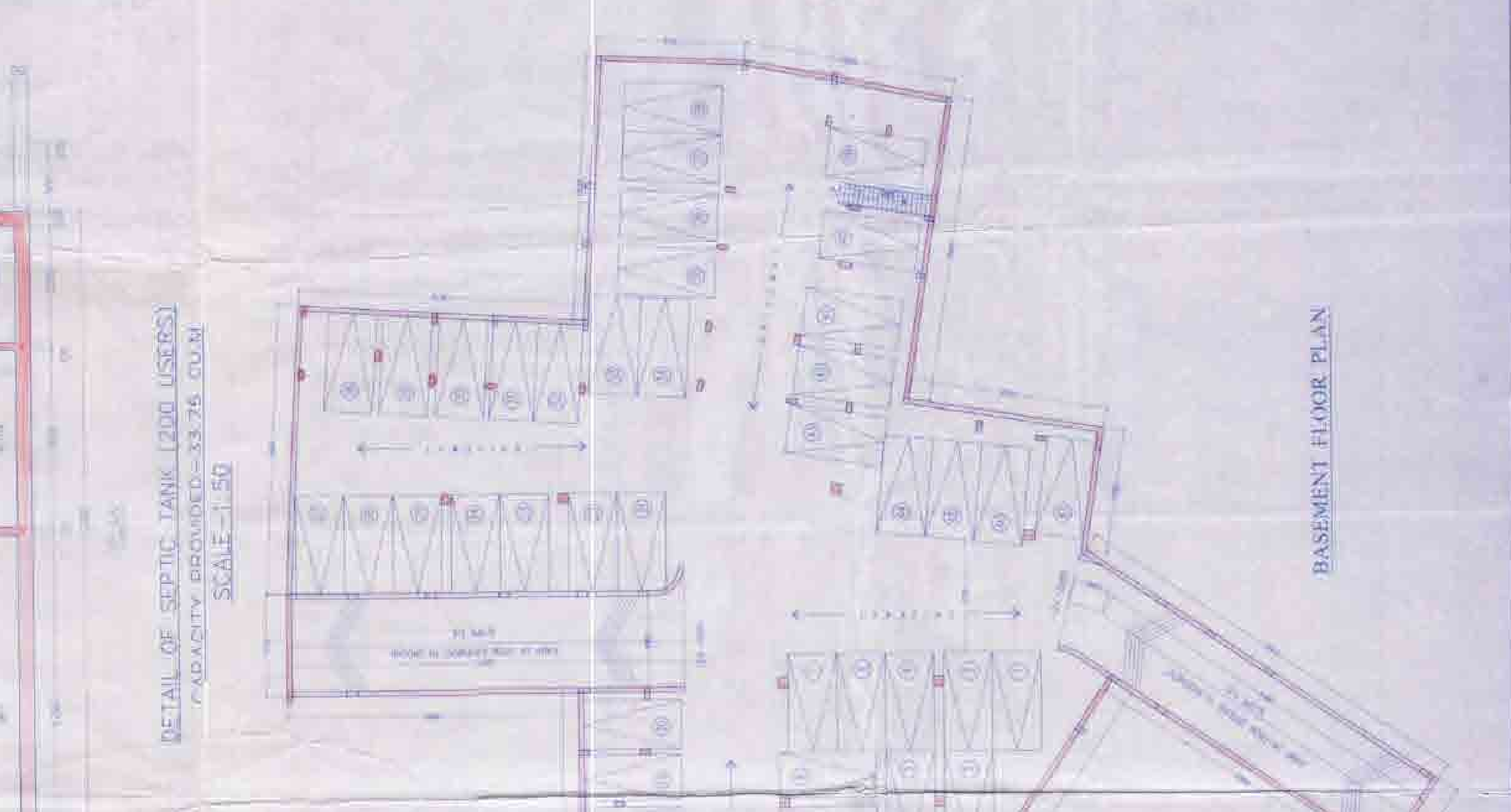
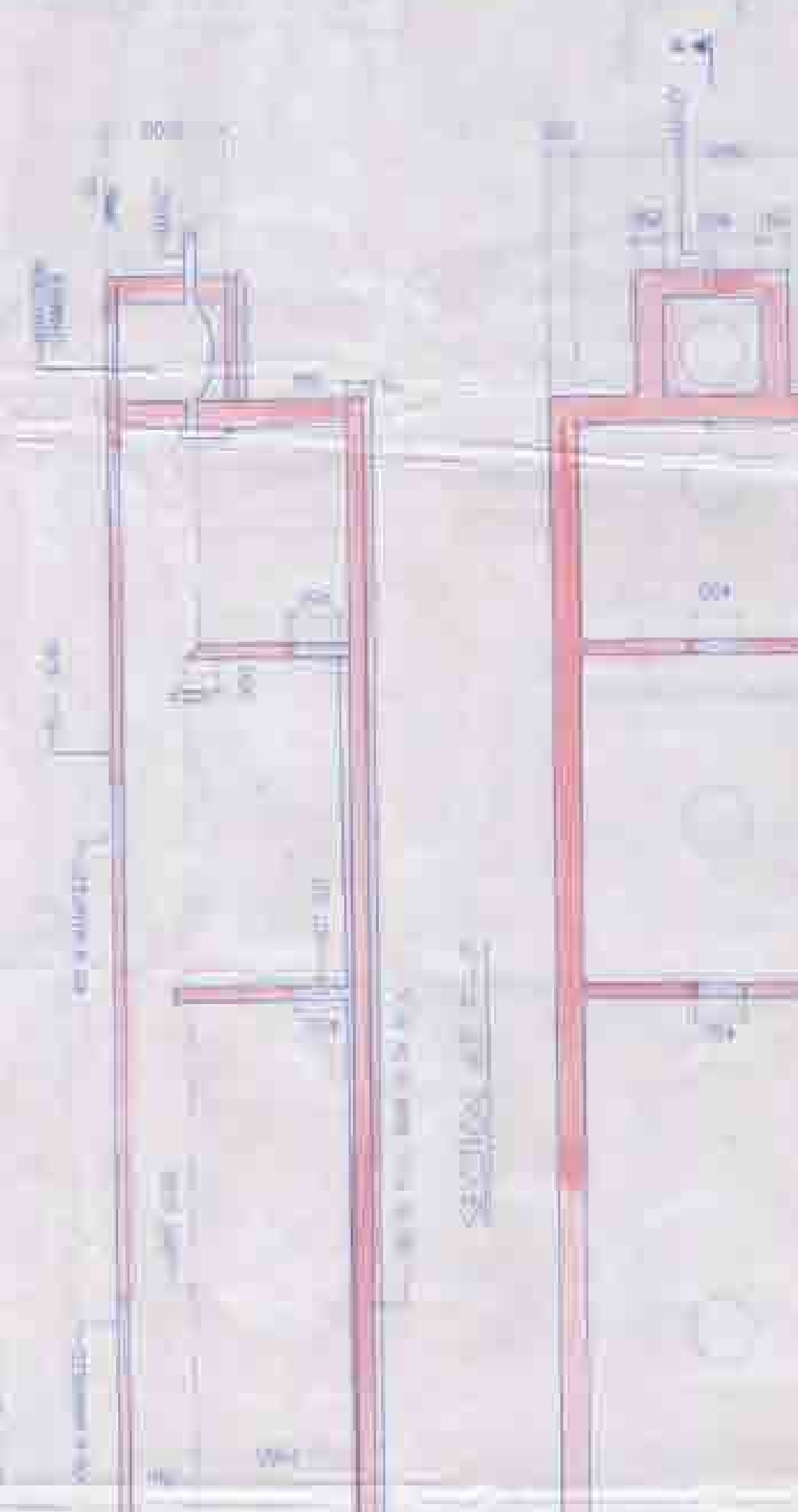
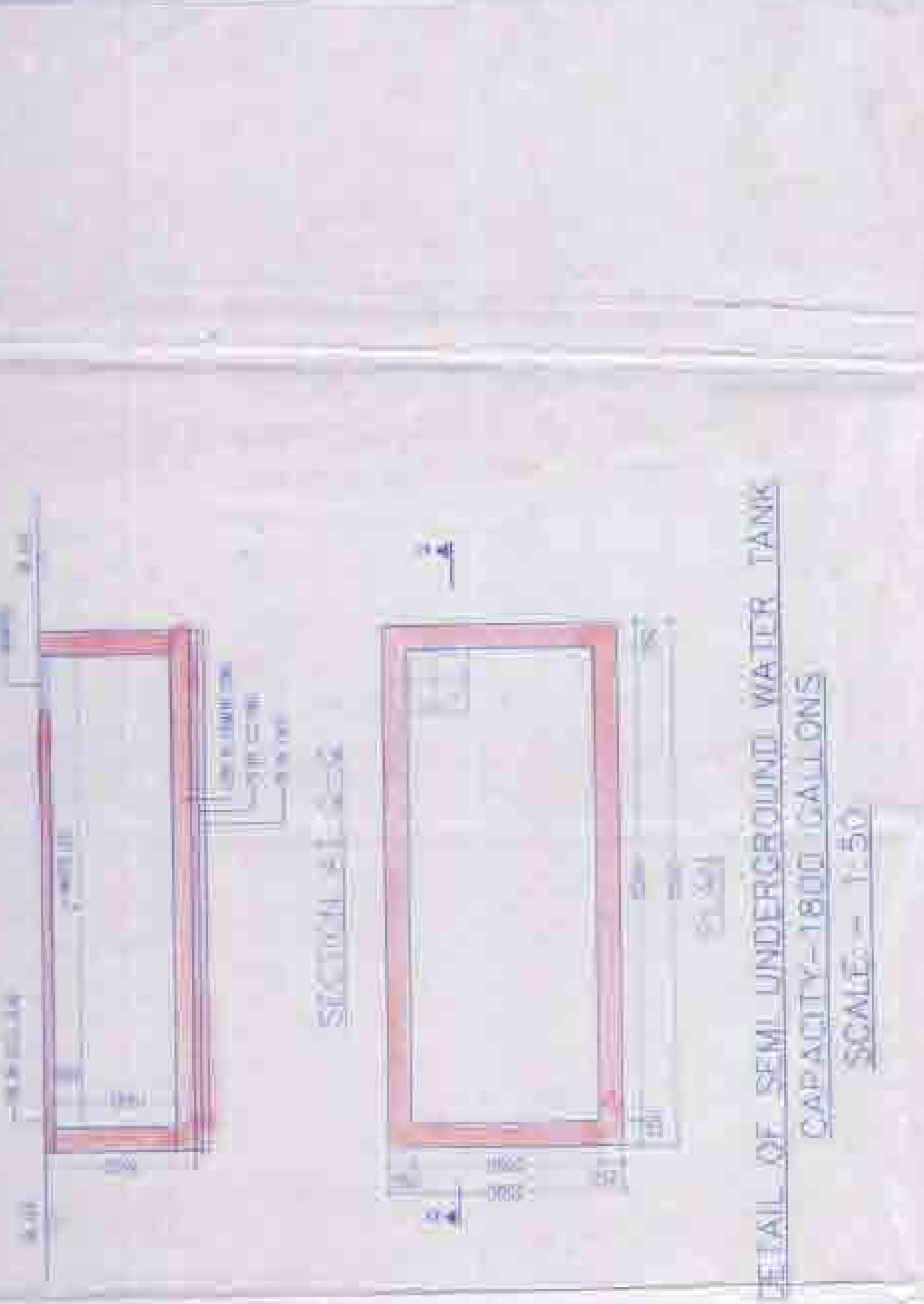
[REDACTED]

FOR THE BOARD OF DIRECTORS

[REDACTED]

FOR THE BOARD OF DIRECTORS

[REDACTED]





APD - 8/15  
Grand Jury + Subpoena  
A/C Books  
- find links

SL No: 984/14/15



It is hereby notified that the Government of Karnataka has sanctioned the sanctioning plan for the construction of the proposed project in accordance with the provisions of the Karnataka Building Regulation, 1961 and the Karnataka Building Regulation, 1961 (Amendment) Act, 1962.

The sanctioning plan for the proposed project is hereby sanctioned on the condition that the applicant shall comply with the provisions of the Karnataka Building Regulation, 1961 and the Karnataka Building Regulation, 1961 (Amendment) Act, 1962.

In case any deviation from the sanctioned plan is noticed, the applicant shall be liable to pay the penalty as per clause 10 of the Karnataka Building Regulation, 1961.

Amount of cost of 21/4/15 sanction fee Rs. 1000/-

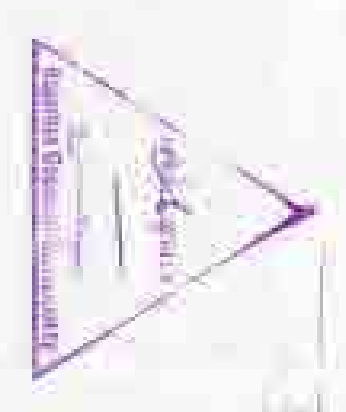
**AFTER COMPLETION OF CONSTRUCTION THE APPLICANT SHALL OBTAIN THE OCCUPANCY CERTIFICATE FROM THE LOCAL AUTHORITY IN COMPLIANCE WITH THE PROVISIONS OF THE KARNATAKA BUILDING REGULATION, 1961.**

**PROVISIONALLY SANCTIONED**

**CHECKED BY**  
Sd/-  
Deputy Commissioner

**REVIEWED BY**  
Sd/-  
Deputy Commissioner  
Subject: In light of the building plan for the proposed project in accordance with the provisions of the Karnataka Building Regulation, 1961 and the Karnataka Building Regulation, 1961 (Amendment) Act, 1962.

1/15/2014  
10/12/2014







SL NO. 984/14/15



This message was sent by letter to the  
respective authorities for their consideration  
and approval. The same is being  
reproduced for their information.

On the basis of the information received  
from the concerned authorities, the  
proposed project is being considered  
for approval.

In case any deviation from the  
sanctioned plan, the security  
agreed shall be provided and  
shall be taken up for approval.

Validity of this order is 30 days from the  
date of issue.

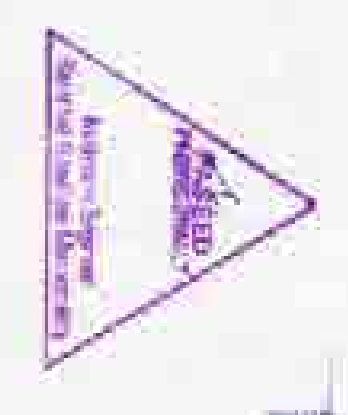
**AFTER COMPLETION OF  
ERECTOR TAKING OF  
OCCUPANCY CERTIFICATE  
IS COMPULSORY**

**PROVISIONALLY SANCTIONED**

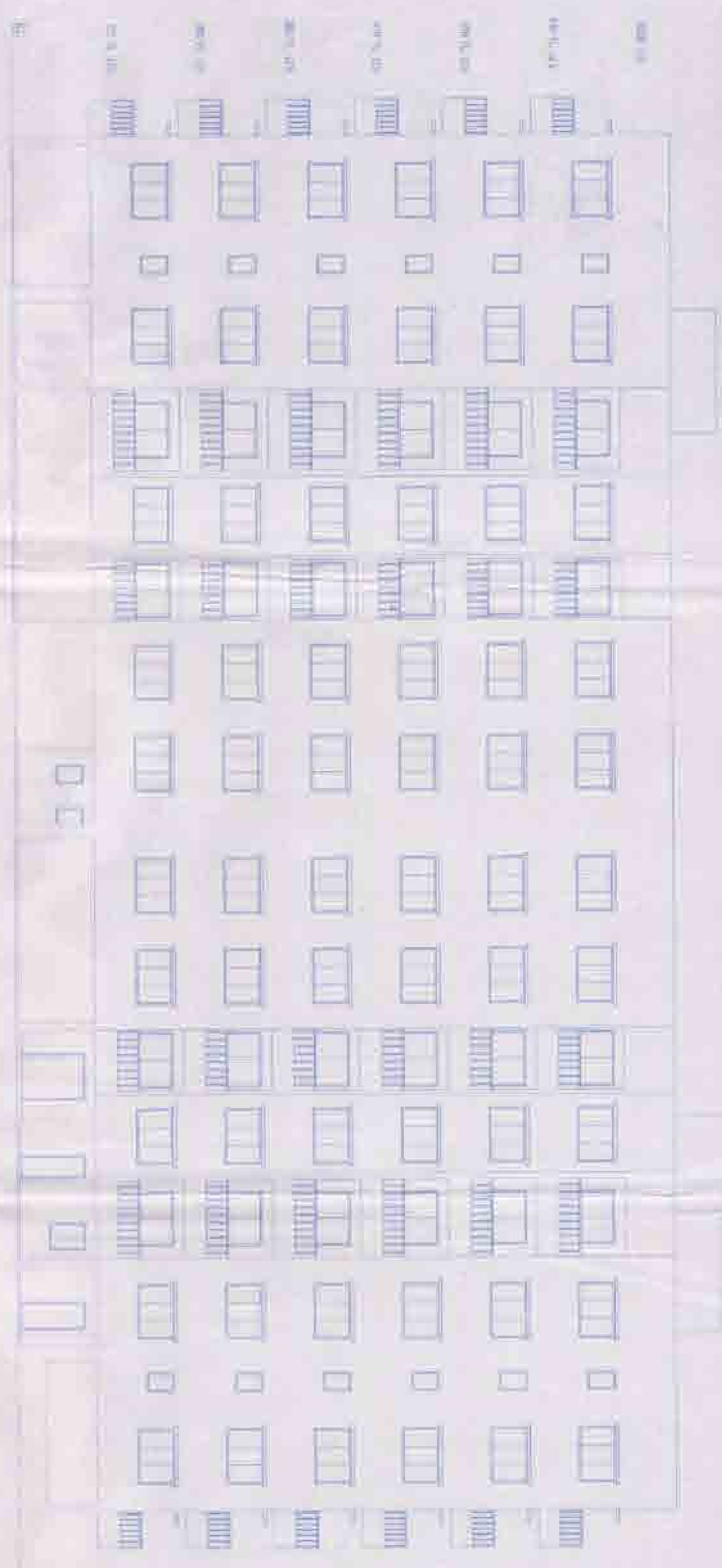
ORDERED BY  
Secretary  
Bangalore Municipal Corporation

*[Signature]*  
Date: 27/1/15

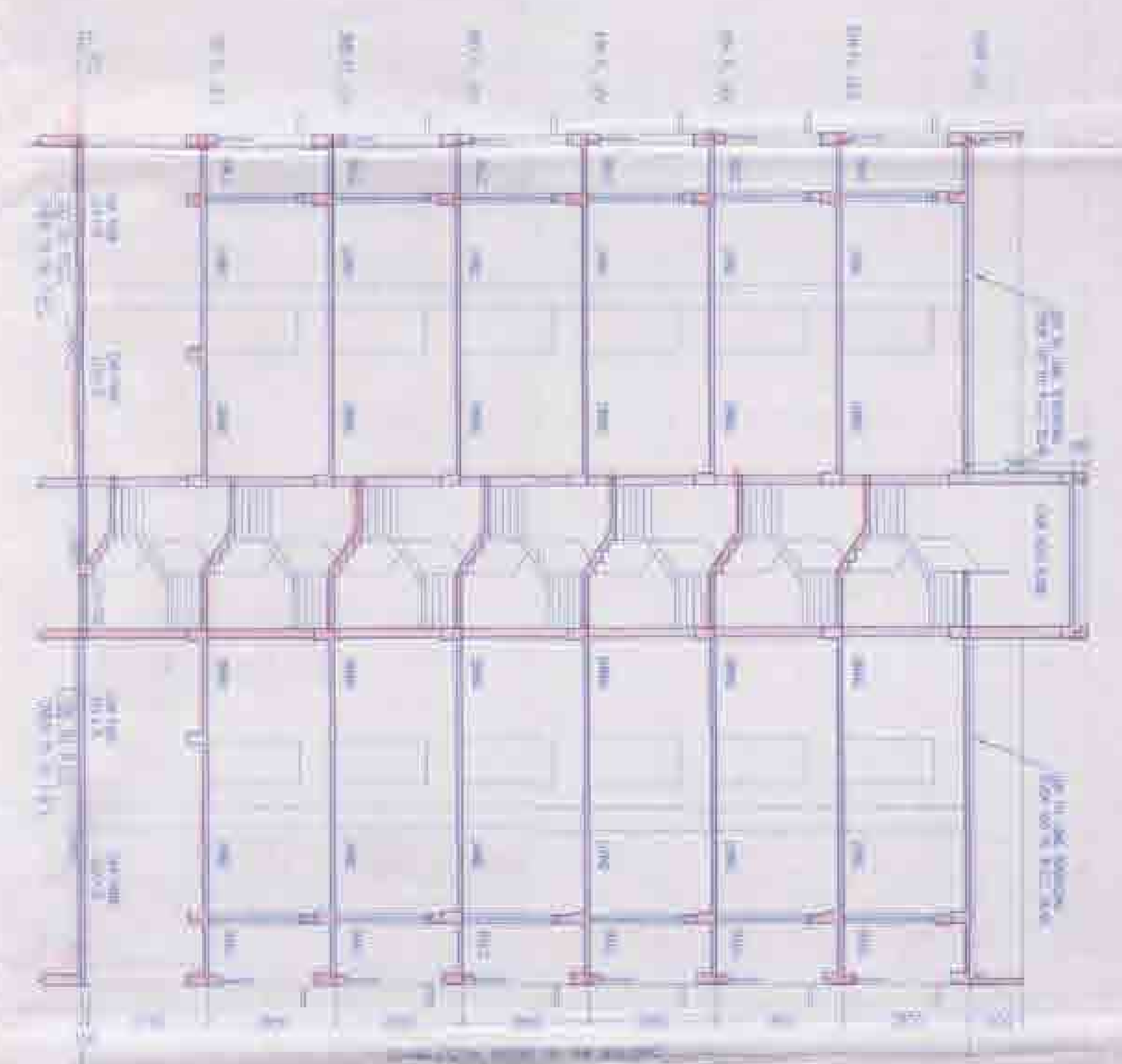
REVIEWED  
UP TO 30/01/2015. Since the height of the building  
is 18m, it is (L+G+V) work  
and BMDA - not.



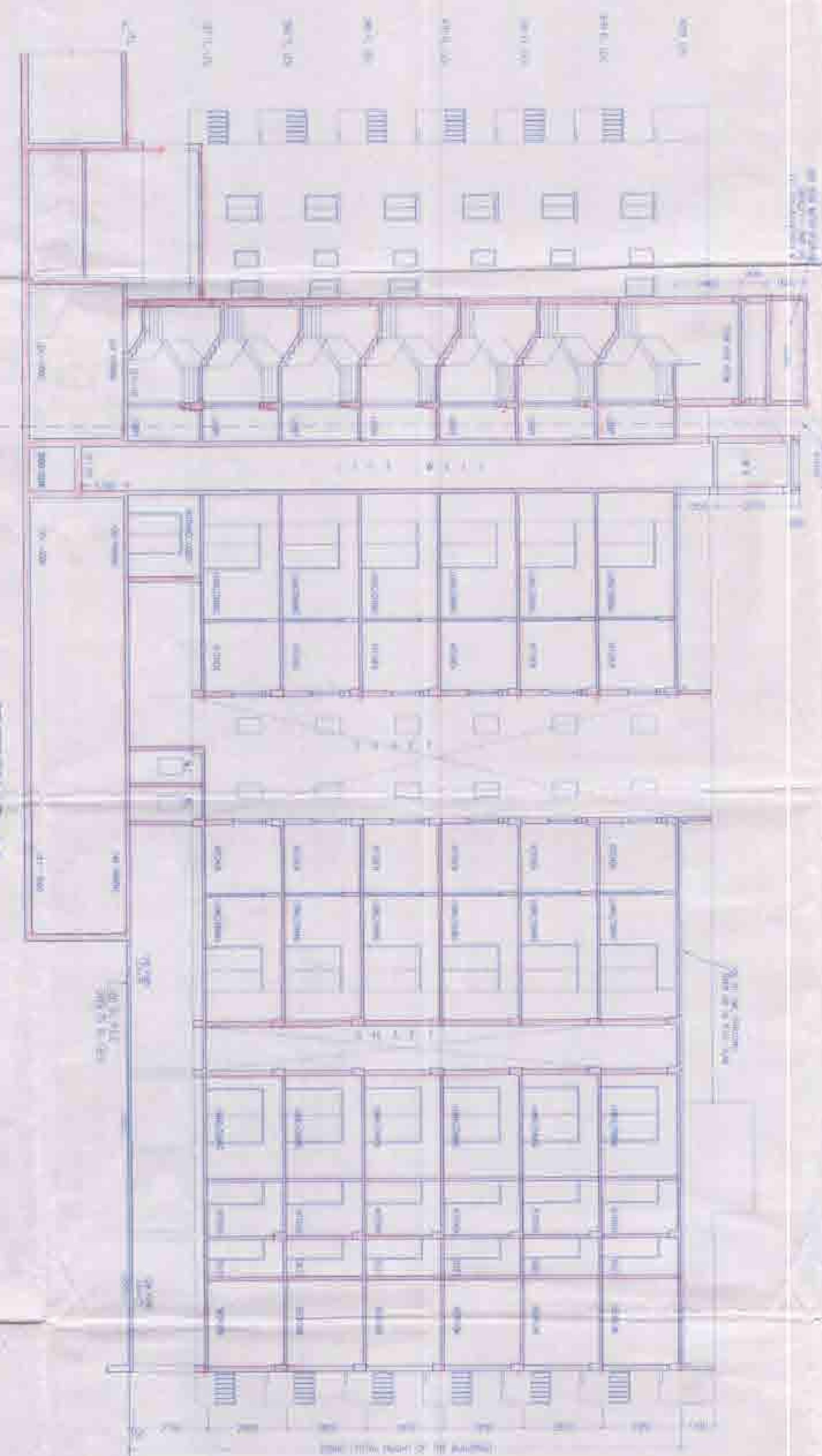




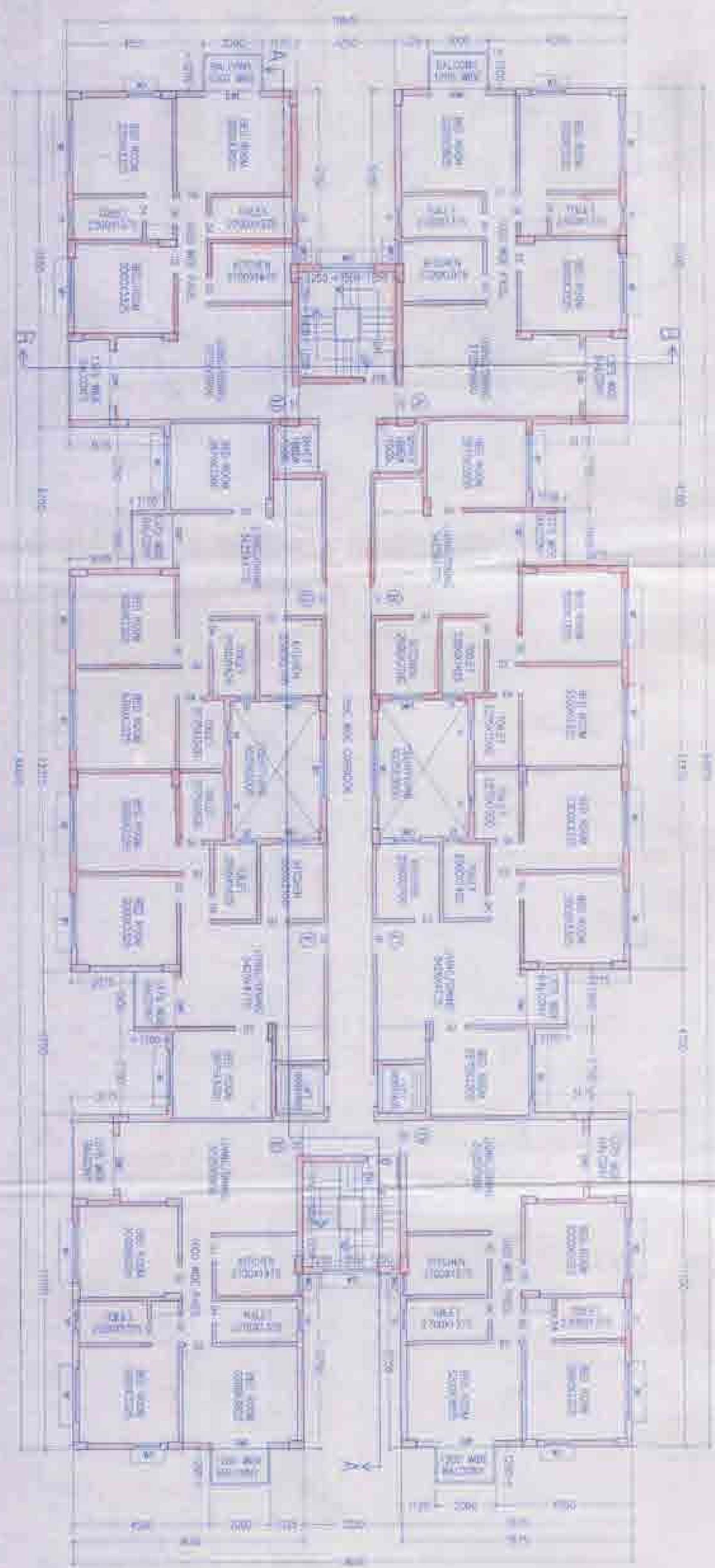
FRONT ELEVATION



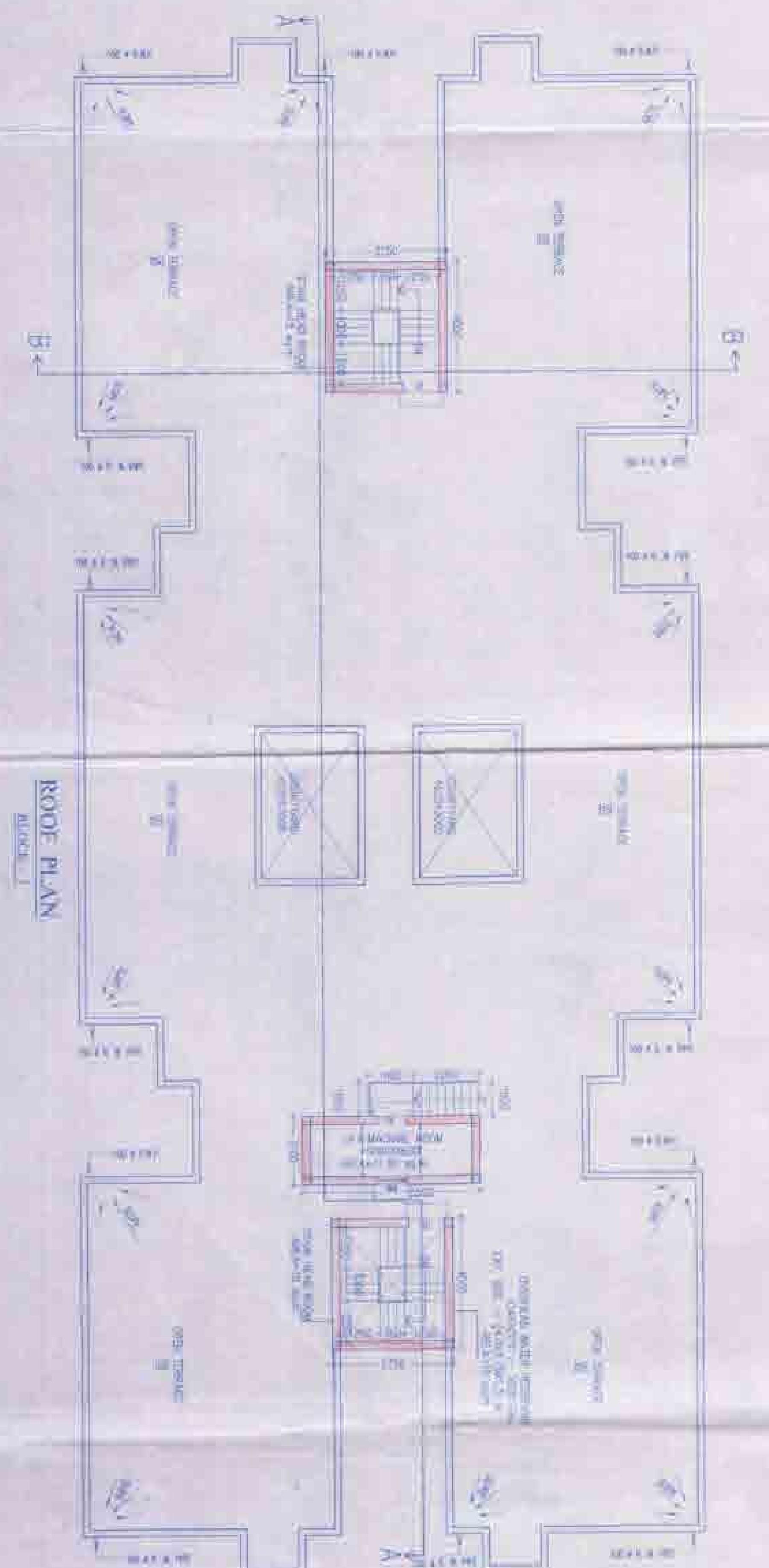
SECTION A1 - D0



SECTION A1 - AA



TYPICAL FLOOR PLAN



ROOF PLAN



**GENERAL NOTES**

1. All dimensions are in millimeters unless otherwise stated.
2. The contractor shall be responsible for obtaining all necessary permits and approvals.
3. The contractor shall ensure that all materials and workmanship comply with the relevant standards and specifications.
4. The contractor shall maintain a record of all materials used and work done.
5. The contractor shall ensure that the building is completed within the agreed time frame.
6. The contractor shall ensure that the building is handed over in a safe and sound condition.
7. The contractor shall ensure that the building is handed over with all necessary documents and records.
8. The contractor shall ensure that the building is handed over with all necessary warranties and guarantees.
9. The contractor shall ensure that the building is handed over with all necessary training and instructions.
10. The contractor shall ensure that the building is handed over with all necessary maintenance and repair instructions.

**SCHEDULE OF COSTS**

NO.	DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
1	...	...	...	...	...
2	...	...	...	...	...
3	...	...	...	...	...
4	...	...	...	...	...
5	...	...	...	...	...
6	...	...	...	...	...
7	...	...	...	...	...
8	...	...	...	...	...
9	...	...	...	...	...
10	...	...	...	...	...

**FOR APPROVAL OF CLIENT**

Signature: \_\_\_\_\_  
Name: \_\_\_\_\_  
Date: \_\_\_\_\_

**FOR APPROVAL OF ARCHITECT**

Signature: \_\_\_\_\_  
Name: \_\_\_\_\_  
Date: \_\_\_\_\_

**FOR APPROVAL OF ENGINEER**

Signature: \_\_\_\_\_  
Name: \_\_\_\_\_  
Date: \_\_\_\_\_

**PROJECT INFORMATION**

PROJECT NAME: \_\_\_\_\_  
CLIENT: \_\_\_\_\_  
ARCHITECT: \_\_\_\_\_  
ENGINEER: \_\_\_\_\_  
DATE: \_\_\_\_\_

**REVISIONS**

NO.	DESCRIPTION	DATE
1	...	...
2	...	...
3	...	...

**SCALE**

1:100

**DATE**

...









4/3  
02-3



SL No. 984/14/15



382

Area - 4.15  
Block # 3

The rain water pipe system should be allowed to be fixed in discharge on road or footpath in open well, sump, drainage plan for sanitary area should be submitted and sanctioned as per rule before proceeding with drainage work.

Before starting any construction, the site must conform with the plan sanctioned and all the structures and erections in the area shall be lifted by the owner at the expiry of the sanction & three years from date of sanction and not in removal for less than 3 years.

In case any deviation from the sanctioned plan the security deposit shall be forfeited and action shall be taken as per Rules Act.

Planning of trees @ 2.5/4/6 numbers for 1/3/4/5 scored building respectively should be done.

**AFTER COMPLETION OF ERECTION TAKING OF OCCUPANCY CERTIFIED COMPLETION DRAWERS IS COMPULSORY**

**PROVISIONALLY SANCTIONED**

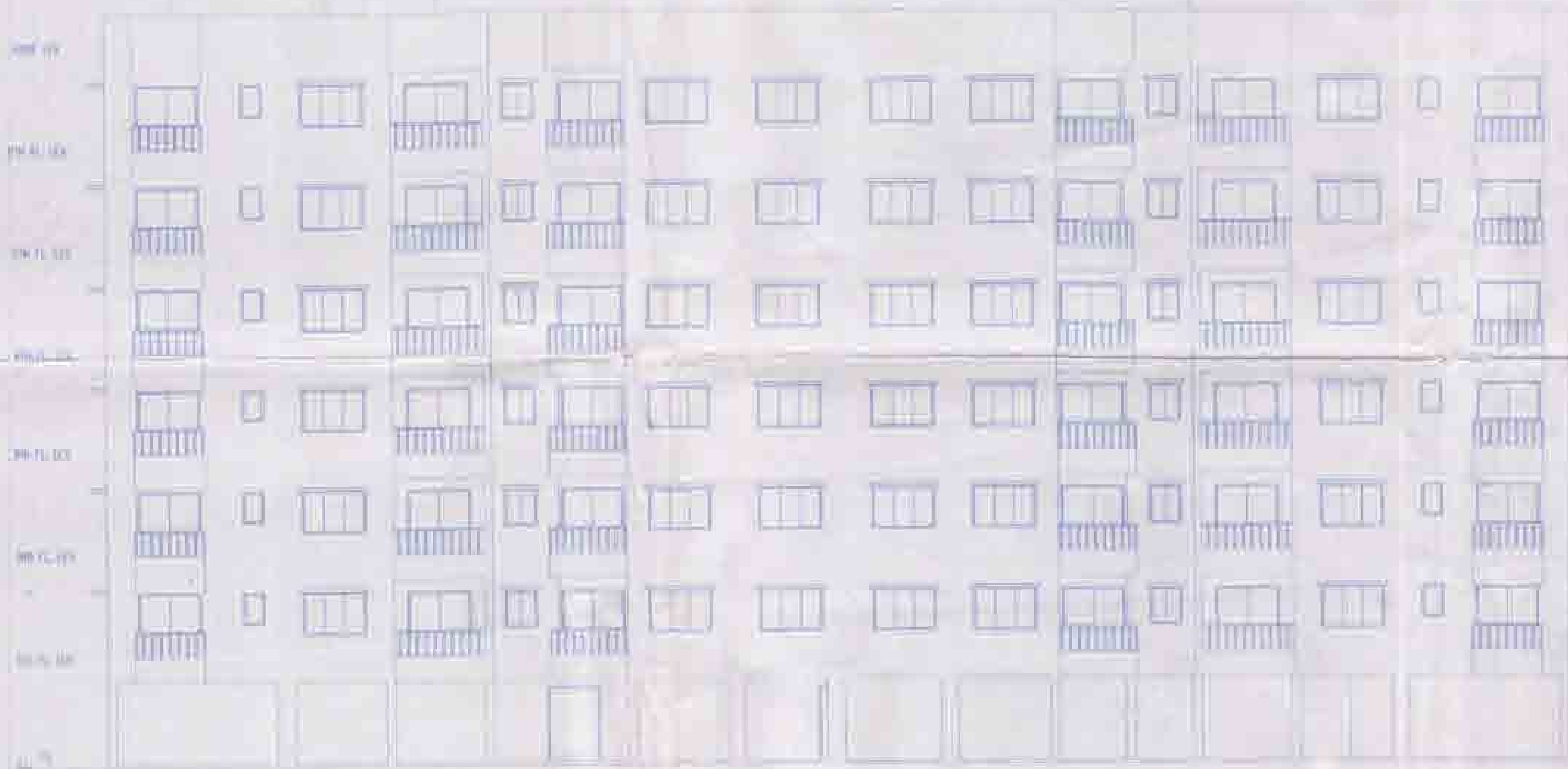
*[Signature]*  
Municipal Corporation  
Date: 20/7/14

CHECKED BY  
*[Signature]*  
Township Engineer  
Bachalwejer Municipal Corporation

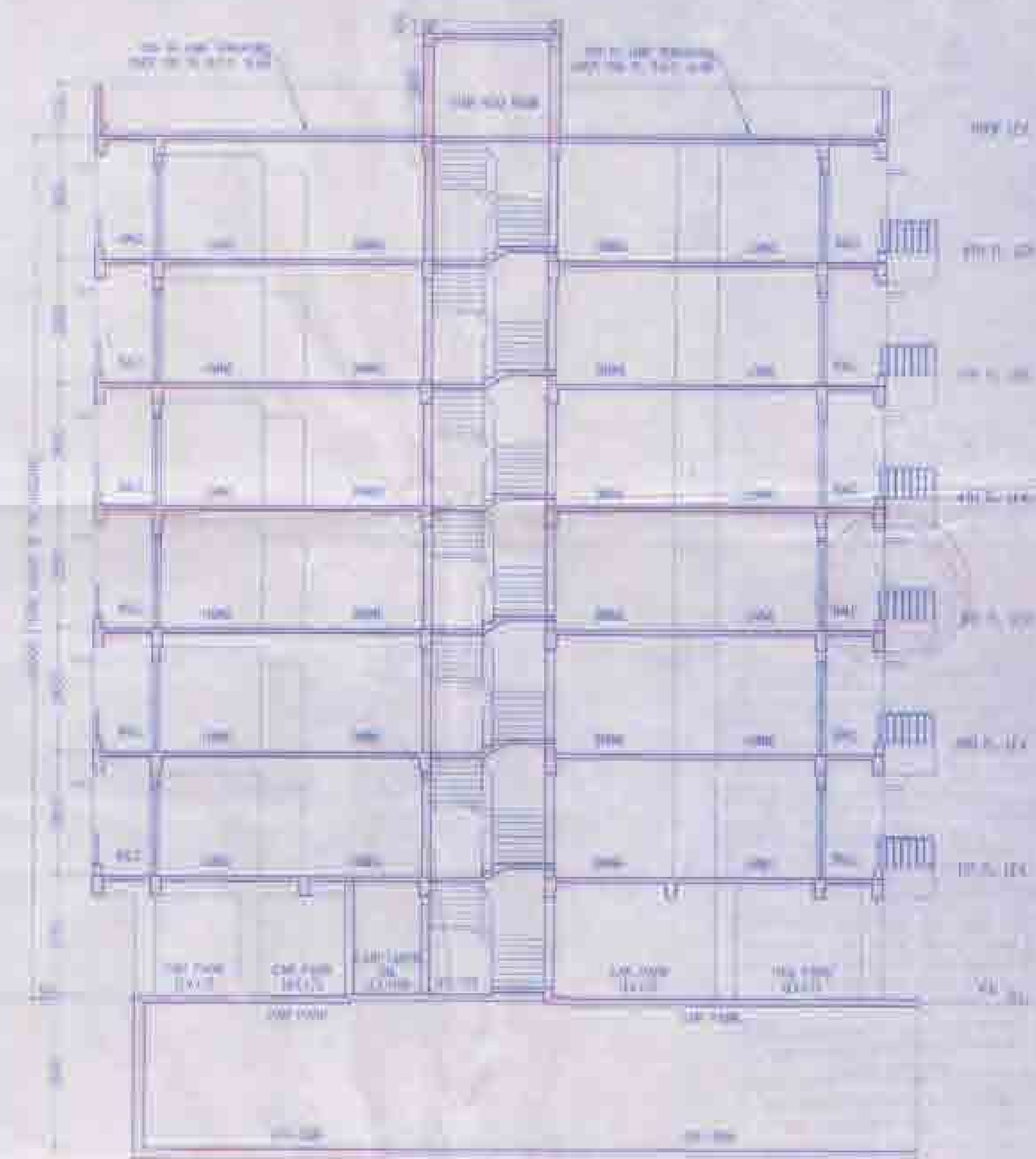
RENEWED  
UP TO 30/07/2020. Subject to height of the building to be 13.04 i.e. (8+5+0) as per AMBMR-2017.

382  
Area - 4.15  
Block # 3

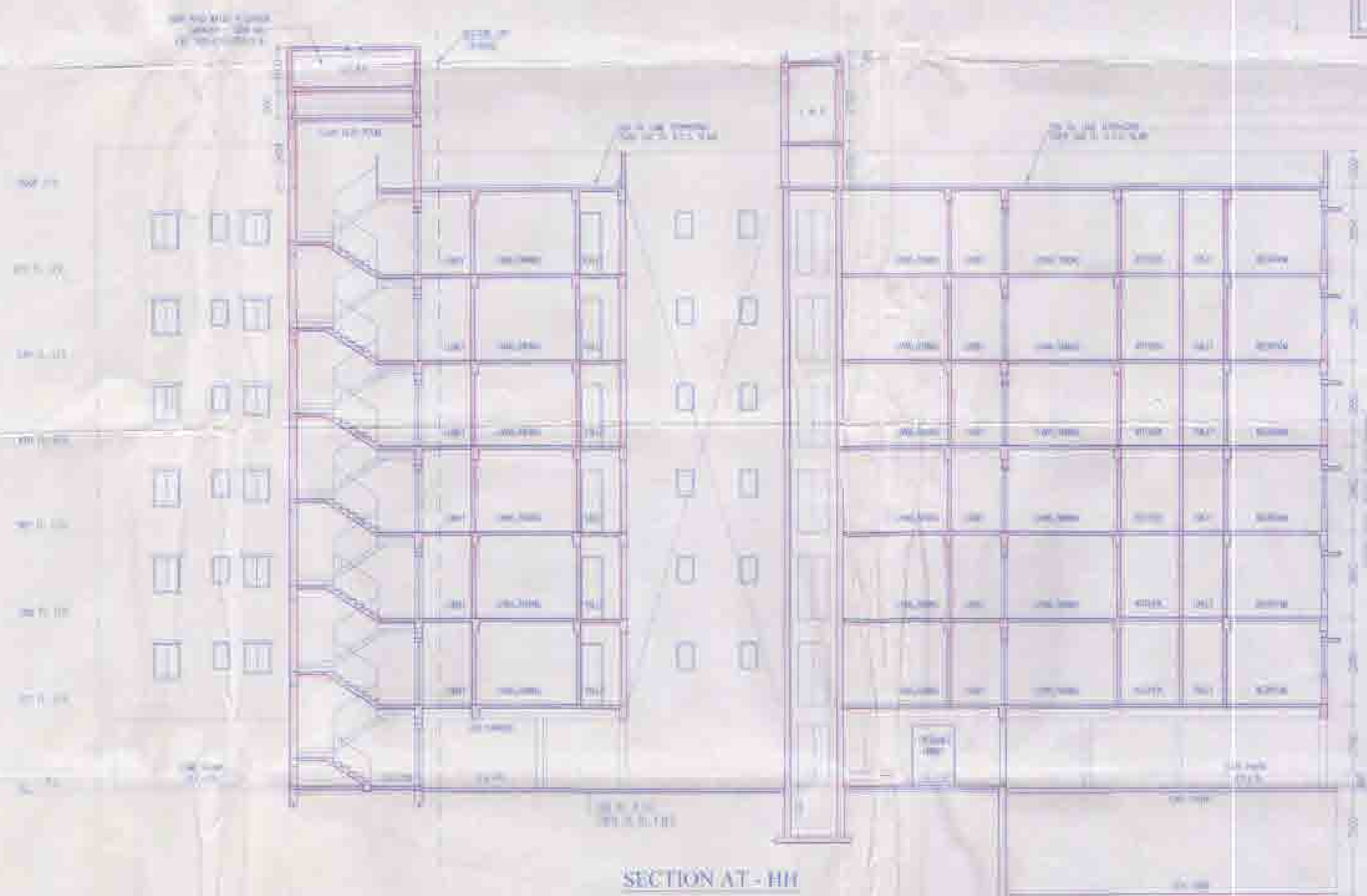




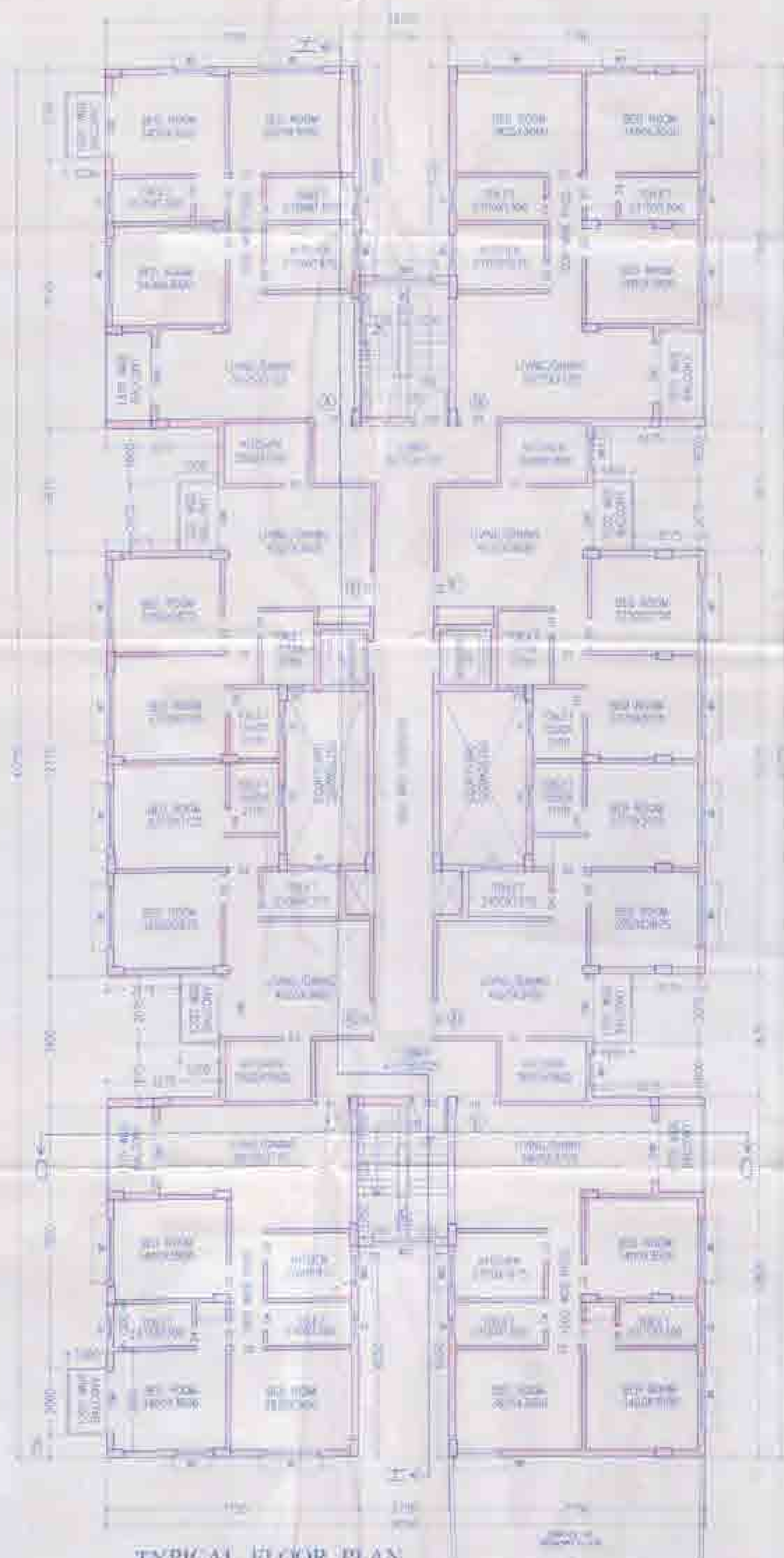
FRONT ELEVATION



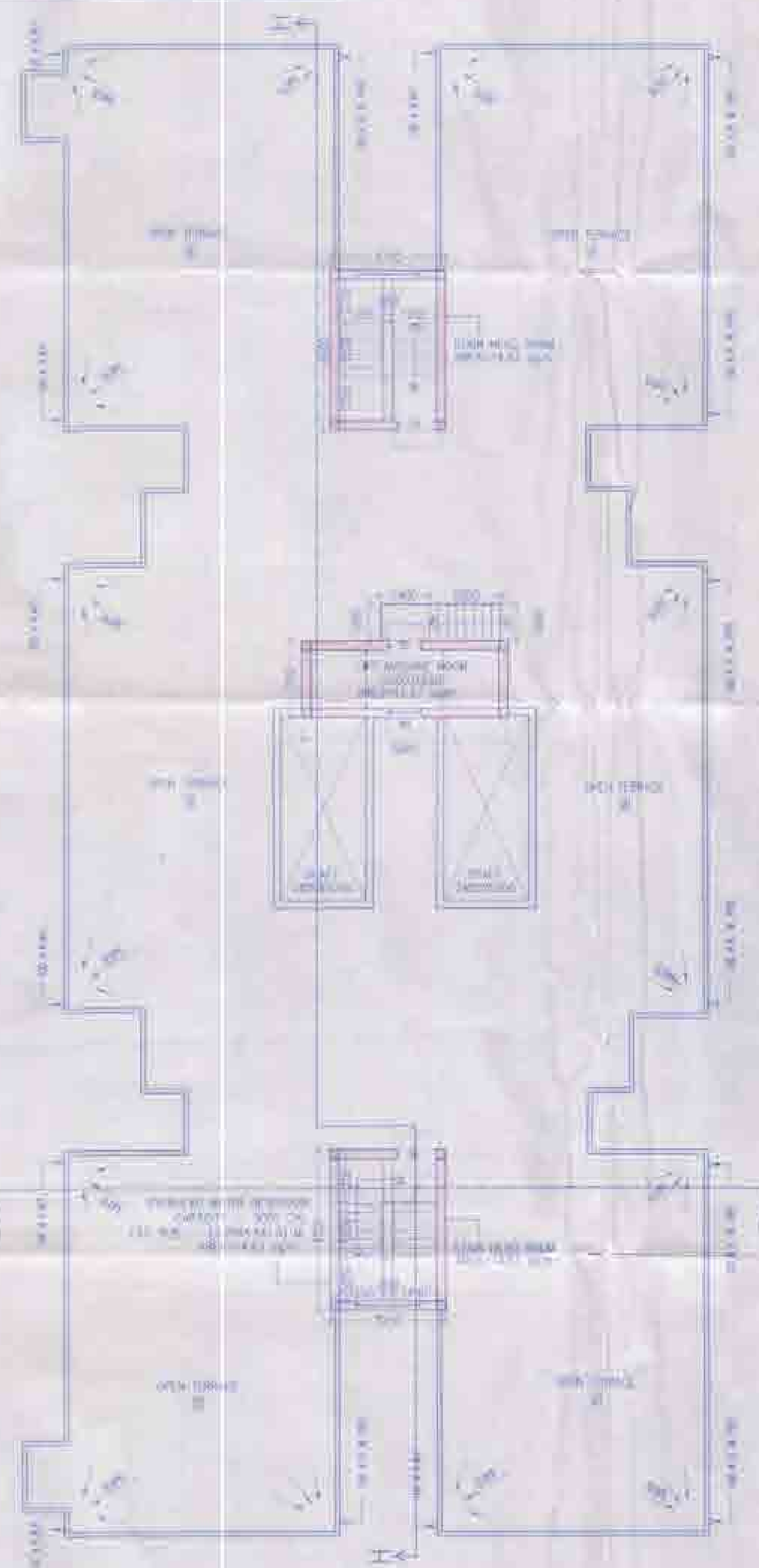
SECTION AT-GG



SECTION AT-HH



TYPICAL FLOOR PLAN  
USE FOR BUILDING BLOCKS



ROOF PLAN  
BLOCK 1

- GENERAL NOTES**
1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
  2. FOR INDICATION OF SCHEMATIC AND WORKMANSHIP FOLLOW LOCAL CODES.
  3. FINISH FLOOR FINISH TO BE FINISH.
  4. ALL EXTERIOR WALLS ARE TO BE 200 MM & AT MINIMUM WITH 100 MM THICK IN 100 CENTIMETERS.
  5. ALL EXTERIOR WALLS ARE TO BE 200 MM & AT MINIMUM WITH 100 MM THICK IN 100 CENTIMETERS.
  6. ALL EXTERIOR WALLS ARE TO BE 200 MM & AT MINIMUM WITH 100 MM THICK IN 100 CENTIMETERS.
  7. ALL EXTERIOR WALLS ARE TO BE 200 MM & AT MINIMUM WITH 100 MM THICK IN 100 CENTIMETERS.
  8. ALL EXTERIOR WALLS ARE TO BE 200 MM & AT MINIMUM WITH 100 MM THICK IN 100 CENTIMETERS.
  9. ALL EXTERIOR WALLS ARE TO BE 200 MM & AT MINIMUM WITH 100 MM THICK IN 100 CENTIMETERS.
  10. ALL EXTERIOR WALLS ARE TO BE 200 MM & AT MINIMUM WITH 100 MM THICK IN 100 CENTIMETERS.

**SCHEDULE OF DOORS & WINDOWS**

NO.	DOOR / WINDOW	SIZE	NO.	AREA	PERCENTAGE
1	DOOR	1.00 x 2.00	10	2.00	0.02
2	WINDOW	1.50 x 1.50	100	2.25	0.02
3	DOOR	1.00 x 2.00	10	2.00	0.02
4	WINDOW	1.50 x 1.50	100	2.25	0.02
5	DOOR	1.00 x 2.00	10	2.00	0.02
6	WINDOW	1.50 x 1.50	100	2.25	0.02
7	DOOR	1.00 x 2.00	10	2.00	0.02
8	WINDOW	1.50 x 1.50	100	2.25	0.02
9	DOOR	1.00 x 2.00	10	2.00	0.02
10	WINDOW	1.50 x 1.50	100	2.25	0.02

**CERTIFICATE OF OWNER**

I HEREBY CERTIFY THAT THE ABOVE DRAWINGS HAVE BEEN PREPARED BY THE ARCHITECT AND I HAVE REVIEWED THE SAME AND I AM SATISFIED THAT THE SAME COMPLY WITH THE REQUIREMENTS OF THE LOCAL LAWS AND REGULATIONS.

FOR ESTABLISHMENT  
*Signature*  
TRUSTEE

**SIGNATURE OF OWNER**

**CERTIFICATE OF STRUCTURAL ENGINEER**

I HEREBY CERTIFY THAT THE STRUCTURAL DESIGN AND CALCULATIONS HAVE BEEN MADE BY ME OR UNDER MY SUPERVISION AND I AM SATISFIED THAT THE SAME COMPLY WITH THE REQUIREMENTS OF THE LOCAL LAWS AND REGULATIONS.

*Signature*  
STRUCTURAL ENGINEER

**SIGNATURE OF STRUCTURAL ENGINEER**

**CERTIFICATE OF I.E.S.**

I HEREBY CERTIFY THAT THE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED BY THE ARCHITECT AND I HAVE REVIEWED THE SAME AND I AM SATISFIED THAT THE SAME COMPLY WITH THE REQUIREMENTS OF THE LOCAL LAWS AND REGULATIONS.

*Signature*  
REGISTERED ARCHITECT

APPROVED SITE PLAN NO. \_\_\_\_\_

TITLE: BLOCK 1  
CYCICAL FLOOR PLAN (ST. 0.0M), ROOF PLAN, FRONT ELEVATION, SECTIONS A-G & H-I

**PROJECT**  
PROPOSED BY: G.V. GAO (M.T.) STORED RESIDENTIAL BUILDING AT R & AND L.L. (DAG NO. 26789/04, 2078 (P) 2679 (P) 2680 (P) L.L. AREA PLAN NO. 1/80/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231/1232/1233/1234/1235/1236/1237/1238/1239/1240/1241/1242/1243/1244/1245/1246/1247/1248/1249/1250/1251/1252/1253/1254/1255/1256/1257/1258/1259/1260/1261/1262/1263/1264/1265/1266/1267/1268/1269/1270/1271/1272/1273/1274/1275/1276/1277/1278/1279/1280/1281/1282/1283/1284/1285/1286/1287/1288/1289/1290/1291/1292/1293/1294/1295/1296/1297/1298/1299/1300/1301/1302/1303/1304/1305/1306/1307/1308/1309/1310/1311/1312/1313/1314/1315/1316/1317/1318/1319/1320/1321/1322/1323/1324/1325/1326/1327/1328/1329/1330/1331/1332/1333/1334/1335/1336/1337/1338/1339/1340/1341/1342/1343/1344/1345/1346/1347/1348/1349/1350/1351/1352/1353/1354/1355/1356/1357/1358/1359/1360/1361/1362/1363/1364/1365/1366/1367/1368/1369/1370/1371/1372/1373/1374/1375/1376/1377/1378/1379/1380/1381/1382/1383/1384/1385/1386/1387/1388/1389/1390/1391/1392/1393/1394/1395/1396/1397/1398/1399/1400/1401/1402/1403/1404/1405/1406/1407/1408/1409/1410/1411/1412/1413/1414/1415/1416/1417/1418/1419/1420/1421/1422/1423/1424/1425/1426/1427/1428/1429/1430/1431/1432/1433/1434/1435/1436/1437/1438/1439/1440/1441/1442/1443/1444/1445/1446/1447/1448/1449/1450/1451/1452/1453/1454/1455/1456/1457/1458/1459/1460/1461/1462/1463/1464/1465/1466/1467/1468/1469/1470/1471/1472/1473/1474/1475/1476/1477/1478/1479/1480/1481/1482/1483/1484/1485/1486/1487/1488/1489/1490/1491/1492/1493/1494/1495/1496/1497/1498/1499/1500/1501/1502/1503/1504/1505/1506/1507/1508/1509/1510/1511/1512/1513/1514/1515/1516/1517/1518/1519/1520/1521/1522/1523/1524/1525/1526/1527/1528/1529/1530/1531/1532/1533/1534/1535/1536/1537/1538/1539/1540/1541/1542/1543/1544/1545/1546/1547/1548/1549/1550/1551/1552/1553/1554/1555/1556/1557/1558/1559/1560/1561/1562/1563/1564/1565/1566/1567/1568/1569/1570/1571/1572/1573/1574/1575/1576/1577/1578/1579/1580/1581/1582/1583/1584/1585/1586/1587/1588/1589/1590/1591/1592/1593/1594/1595/1596/1597/1598/1599/1600/1601/1602/1603/1604/1605/1606/1607/1608/1609/1610/1611/1612/1613/1614/1615/1616/1617/1618/1619/1620/1621/1622/1623/1624/1625/1626/1627/1628/1629/1630/1631/1632/1633/1634/1635/1636/1637/1638/1639/1640/1641/1642/1643/1644/1645/1646/1647/1648/1649/1650/1651/1652/1653/1654/1655/1656/1657/1658/1659/1660/1661/1662/1663/1664/1665/1666/1667/1668/1669/1670/1671/1672/1673/1674/1675/1676/1677/1678/1679/1680/1681/1682/1683/1684/1685/1686/1687/1688/1689/1690/1691/1692/1693/1694/1695/1696/1697/1698/1699/1700/1701/1702/1703/1704/1705/1706/1707/1708/1709/1710/1711/1712/1713/1714/1715/1716/1717/1718/1719/1720/1721/1722/1723/1724/1725/1726/1727/1728/1729/1730/1731/1732/1733/1734/1735/1736/1737/1738/1739/1740/1741/1742/1743/1744/1745/1746/1747/1748/1749/1750/1751/1752/1753/1754/1755/1756/1757/1758/1759/1760/1761/1762/1763/1764/1765/1766/1767/1768/1769/1770/1771/1772/1773/1774/1775/1776/1777/1778/1779/1780/1781/1782/1783/1784/1785/1786/1787/1788/1789/1790/1791/1792/1793/1794/1795/1796/1797/1798/1799/1800/1801/1802/1803/1804/1805/1806/1807/1808/1809/1810/1811/1812/1813/1814/1815/1816/1817/1818/1819/1820/1821/1822/1823/1824/1825/1826/1827/1828/1829/1830/1831/1832/1833/1834/1835/1836/1837/1838/1839/1840/1841/1842/1843/1844/1845/1846/1847/1848/1849/1850/1851/1852/1853/1854/1855/1856/1857/1858/1859/1860/1861/1862/1863/1864/1865/1866/1867/1868/1869/1870/1871/1872/1873/1874/1875/1876/1877/1878/1879/1880/1881/1882/1883/1884/1885/1886/1887/1888/1889/1890/1891/1892/1893/1894/1895/1896/1897/1898/1899/1900/1901/1902/1903/1904/1905/1906/1907/1908/1909/1910/1911/1912/1913/1914/1915/1916/1917/1918/1919/1920/1921/1922/1923/1924/1925/1926/1927/1928/1929/1930/1931/1932/1933/1934/1935/1936/1937/1938/1939/1940/1941/1942/1943/1944/1945/1946/1947/1948/1949/1950/1951/1952/1953/1954/1955/1956/1957/1958/1959/1960/1961/1962/1963/1964/1965/1966/1967/1968/1969/1970/1971/1972/1973/1974/1975/1976/1977/1978/1979/1980/1981/1982/1983/1984/1985/1986/1987/1988/1989/1990/1991/1992/1993/1994/1995/1996/1997/1998/1999/2000/2001/2002/2003/2004/2005/2006/2007/2008/2009/2010/2011/2012/2013/2014/2015/2016/2017/2018/2019/2020/2021/2022/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/21



5/15  
2014

SL No. 984/14/15



30m  
Area - 2/5  
Block # 4

My rain water pipe system should be allowed to be fixed to discharge on Road or Footpath or drain water, unless drainage plan for secured area should be submitted and sanctioned as per rule before presenting with drainage work.

Before starting any construction, the site must conform with the plans sanctioned and all the proposed representations in the plan shall be fulfilled by the owner. The validity of the sanction is three years from date of issue, and can be renewed for further 5 years only.

In case any deviation from the sanctioned plan the security deposit shall be forfeited and action shall be taken as per Rules Act.

Planning of street 2/1/4/5 numbers for 2/1/4/5 houses building respectively should be done.

AFTER COMPLETION OF ERECTION TAKING OF OCCUPANCY CERTIFIED COMPLETION DRAWERS IS COMPULSORY

PROVISIONALLY SANCTIONED

*[Signature]*  
Municipal Corporation  
Date 20/7/14

CHECKED BY  
*[Signature]*  
Sub Assistant Engineer  
Municipal Corporation

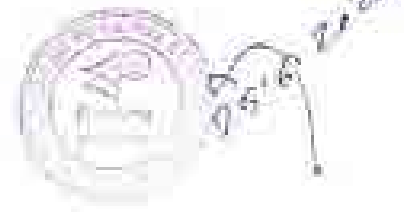
RENEWED UP TO 20/07/2014. Subject to height of the building upto 18'0" i.e. (B+H+V) as per 10.6.2004 - 2011.

*[Signature]*  
Sub Assistant Engineer  
Municipal Corporation



Dated: 25.06.2020

To  
The Executive Engineer  
Bidhannagar Municipal Corporation  
Salt Lake City, Bidhan Nagar,  
Kolkata-700 106 (W.B.)



Subject: Revalidation of Sanction Plan being No: 984/14/15 dated 20.07.2014

Ref: All that piece and Parcel of Land ad measuring 150 Decimals lying and situated at L.R. Dag Nos. 3678, 3679, 3680 and 3678/4016, in L.R. Khatian Nos. 11848 to 11858 and 11860 to 11863, Mouza-Gopalpur, I.L. No- 02, under Bidhannagar Municipal Corporation Ward No 02, district North 24 Parganas.

Dear Sir,

We would like to inform you that we have purchased the captioned land along with sanctioned plan being Plan No: 984/14/15 dated 20.07.2014 from the erstwhile owner Jerambhai Seva Trust on 27th Day of September 2014.

After purchase of the said land we have mutated the land in our name from concerned B. L. & L.R.O. Rajarhat. The Said Land is also converted as Housing Complex.

Further the Said Land is mutated in our name in Bidhannagar Municipal Corporation and we have paid the municipal tax as on date.

The aforesaid mention sanctioned plan is renewed by the Bidhannagar Municipal Corporation on 19.07.2019.

Partial Completion certificate has also been issued with respect to the Said Land on 05.03.2020.

Due to certain unavoidable circumstances we are not able to complete the construction in time. Due to that revalidation of the Sanction Plan being no: 984/14/15 dated 20.07.2014 is required to be revalidated immediately.

Since the original sanction plan is in the name of JerambhaiSeva Trust and after that we have purchased the same from them along with said land and changed the name in all necessary documents as mentioned above.

Under factual matrix and circumstances kindly allow us to file revalidation in present company name and kindly expedite the process to do the same as earliest. We shall be much obliged to you for this.

Thanking you

Yours truly,  
For Almost Realtors Private Limited & 14 other companies

  
Authorized Signatory



3680 (P) - LR. Khatun  
No: 1900

BANKER'S COPY

1900

### Bidhannagar Municipal Corporation

Poura Bhawan, FD-415A, Sector-III  
Bidhannagar, Kolkata - 700 106

**CHALLAN**

Building Plan Section

Challan No. 3040

Fees The

Name & Address Sona, Trust.

Gopalpur. P.S./LR. Durg

No: 3679/4016, 3679 (P)

Head of Account \_\_\_\_\_ Date of deposit 2.9.20

Particulars	Code	Amount	Details of Cheque
Sanction fees Rs.	140701		
Stacking Charge Rs.	140705		
Cost Labour Welfare Cess Rs.			
Special Charge / Penalty Rs.	140504		
Revitalization Fees	140206	3,55,236/-	
Spl. Conservancy Charge	140504		
Site Approval fees			
Fees for Certified Copy			
Service Charge for CC			
Development Fees Rs.			
Penalty for Construction alone before Sanction			
Renewal Fees			
<b>TOTAL</b>		<b>3,55,236/-</b>	

Amount in words Three lakh fifty five thousand two hundred and thirty six

For Official use Handed Over by Signature

Ledger No. / Voucher No. \_\_\_\_\_

To be deposited to the A/C No. \_\_\_\_\_ of WB State Co-operative Bank

Passed for Rs. 3,55,236

In Words Rupees \_\_\_\_\_

Signature of the Head of the Deptt. \_\_\_\_\_ Signature of Authorised Signatory Bidhannagar Municipal Corporation

R.T.G.S. cleared on date - 02/09/2020  
000093018883

3680 (P) - LR. Khatun  
No: 1900

PERSONAL COPY

284/14-15

### Bidhannagar Municipal Corporation

Poura Bhawan, FD-415A, Sector-III  
Bidhannagar, Kolkata - 700 106

**CHALLAN**

Building Plan Section

Challan No. \_\_\_\_\_

Fees The

Name & Address Sona, Trust. Gopalpur

P.S./LR. Durg No: 3679

4016, 3679 (P) 3679 (P)

Head of Account \_\_\_\_\_ Date of deposit 2.9.20

Particulars	Code	Amount	Details of Cheque
Sanction fees Rs.	140701		
Stacking Charge Rs.	140705		
Cost Labour Welfare Cess Rs.			
Special Charge / Penalty Rs.	140504	3,55,236/-	
Revitalization Fees	140206		
Spl. Conservancy Charge	140504		
Site Approval fees			
Fees for Certified Copy			
Service Charge for CC			
Development Fees Rs.			
Penalty for Construction alone before Sanction			
Renewal Fees			
<b>TOTAL</b>		<b>3,55,236/-</b>	

Amount in words Three lakh fifty five thousand two hundred and thirty six

For Official use Handed Over by Signature

Ledger No. / Voucher No. \_\_\_\_\_

To be deposited to the A/C No. \_\_\_\_\_ of WB State Co-operative Bank

Passed for Rs. 3,55,236

In Words Rupees \_\_\_\_\_

Signature of the Head of the Deptt. \_\_\_\_\_ Signature of Authorised Signatory Bidhannagar Municipal Corporation

R.T.G.S. cleared on date - 02/09/2020  
000093018883



# BIDHANNAGAR MUNICIPAL CORPORATION

POURA BHAVAN, FD-415A (2nd Floor)  
KOLKATA-700108

No. 2306/BM/2020/345

Date 20.8.2020

From: The Executive Engineer  
Building Plan

To: Sd/-Smt./Ms.

The Jeevambhai Serna Trust.  
25, Princep Street, P.S. Bow Bazar.  
Kol-700072.

Sub: Sanction of site plan / sanction of building plan / Grant of Permission

to execute work (issuance of occupancy certificate at Plot No. X

Sector X R.S. / L.R. DAG No. 3678/Act. 3678 (1)

Mouza Gulpa/ps B/Plan No. 28A/1A-15

Ward No. 02 Kolkata 700136

3679(1) & 3680(1) L.R. Kh.  
mo-3300

Sir,

The site plan (s) / building plan(s) / grant of permission to execute work / occupancy certificate submitted by you along with your application dated 25/06/2020 has/have been sanctioned unconditionally / conditionally. You may take delivery of the Site plan / sanctioned plan / occupancy certificate personally / authorised person with valid ID proofs from this office in between 2.00 pm. to 4.00 pm. not later than 30 days from the date of issue of this letter.

N. B. — Appendix E' is to be submitted to this office before start of the construction work.

Following Fees / charges to be deposited before delivery of site plan / sanctioned plan / occupancy certificate

1. Sanctioned fees ..... Rs.
2. Stacking Charges ..... Rs.
3. Const. Labr. welfare Cess ..... Rs.
4. Special Charges / Penalties ..... Rs.
5.  Revalidation Fees ..... Rs.
6. spf conservancy Charges ..... Rs.
7. Site Approval Fees (Site Plan) ..... Rs.
8. Certified Copy (Plan) Fees ..... Rs.
9. Certified copy (O.C.) Fees ..... Rs.
10. Renewal Fees ..... Rs.
11. Development Fees ..... Rs.
12. Occupancy Certificate ..... Rs.
13. Penalty for Occupancy Charge ..... Rs.
14. Charges for Incremental FAR ..... Rs.

3,55,236/- (Three Lacks fifty five thousand two hundred & thirty six only.)

Yours faithfully,

[Signature]  
23.8.20

Executive Engineer  
Bidhannagar Municipal Corporation

[Signature]  
22.8.20