

SCHEDULE OF DOORS AND WINDOWS :-			
SCHEDULE OF DOOR		SCHEDULE OF WINDOW	
NO	DESCRIPTION	NO	DESCRIPTION
01	1000	01	1000
02	1000	02	1000
03	1000	03	1000

**DETAILED OF REGISTERED DATA -**

BOOK NO.-1	RECORD NO.-1891-2015	BOOK NO.-1	RECORD NO.-1891-2015
VALUATION NO.-11	DATE-03/08/1989	VALUATION NO.-2883	DATE-03/08/1989
DATE-10/07/1919	(CIT DEED)	DATE-10/07/1919	(CIT DEED)
BOOK NO.-1	RECORD NO.-1891-2015	BOOK NO.-1	RECORD NO.-1891-2015
VALUATION NO.-117489 TO 117501	DATE-29/09/2015	VALUATION NO.-117502 TO 117532	DATE-29/09/2015
DATE-29/09/2015	(CIT DEED)	DATE-29/09/2015	(CIT DEED)
BOOK NO.-1	RECORD NO.-1891-2015	BOOK NO.-1	RECORD NO.-1891-2015
VALUATION NO.-189108486	DATE-31/10/2015	VALUATION NO.-189108493	DATE-31/10/2015
DATE-31/10/2015	(DEED OF DECLARATION)	DATE-31/10/2015	(DEED OF DECLARATION)

**DECLARATION OF GEO-TECHNICAL ENGINEER:-**

UNDERSTANDING HAS INSPECTED THE SITE AND CONSIDERED THE FOUNDATION DESIGN AND FOUNDATION SYSTEM PROPOSED AND IS OF THE OPINION THAT THE FOUNDATION DESIGN AND FOUNDATION SYSTEM PROPOSED ARE SAFE AND SATISFACTORY AND CAPABLE TO SUPPORT THE STRUCTURE TO BE CONSTRUCTED THEREON.

*[Signature]*

TOUSHAR BHASKAR PANDIT  
M.E. (SPECIALIZATION IN CIVIL ENGINEERING)  
REGISTERED PROFESSIONAL ENGINEER  
No. 15812/2013  
DATE-06/03/2016

**DECLARATION OF STRUCTURAL ENGINEER:-**

STRUCTURAL DESIGN AND DRAWING OF ABOVE FOUNDATION & SUPERSTRUCTURE OF THE BUILDING AS PER ARCHITECTURAL DRAWING AND THE STRUCTURAL LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND SOUND IN ALL RESPECTS AND CAPABLE TO SUPPORT THE PROPOSED SUPERSTRUCTURE AND ALL THE UTILITY SERVICES WHICH ARE TO BE PROVIDED TO THE BUILDING.

*[Signature]*

TOUSHAR BHASKAR PANDIT  
M.E. (SPECIALIZATION IN CIVIL ENGINEERING)  
REGISTERED PROFESSIONAL ENGINEER  
No. 15812/2013  
DATE-06/03/2016

**DECLARATION OF L.B.S.:-**

DECLARATION OF L.B.S.:-

1. THAT THE SITE FULLY DEVELOPED AS PER THE BUILDING PLAN AND THE FOUNDATION DESIGN AND DRAWING AND THE STRUCTURAL LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND SOUND IN ALL RESPECTS AND CAPABLE TO SUPPORT THE PROPOSED SUPERSTRUCTURE AND ALL THE UTILITY SERVICES WHICH ARE TO BE PROVIDED TO THE BUILDING.

2. ALL OTHER WORKS AS PER THE ARCHITECTURAL DRAWING AND THE FOUNDATION DESIGN AND DRAWING.

3. ALL OTHER SPECIFICATIONS ARE AS PER NATIONAL BUILDING CODE OF INDIA.

4. ALL OPERATIONS ARE IN FULL ACCORDANCE WITH THE ARCHITECTURAL DRAWING AND THE FOUNDATION DESIGN AND DRAWING.

*[Signature]*

TOUSHAR BHASKAR PANDIT  
M.E. (SPECIALIZATION IN CIVIL ENGINEERING)  
REGISTERED PROFESSIONAL ENGINEER  
No. 15812/2013  
DATE-06/03/2016

**PARTY COPY**

RESIDENTIAL BUILDING

SECTION 110 REINFORCEMENT

Hot joint water seal should be fixed or discharged on fixed or floating. Develop joint seal by use of a bonding agent on the concrete surface before proceeding with the grout work.

Before using any Construction the 1/2" mesh concrete as proposed in this section should be used. The width of the concrete should be 1/2" wider than the width of the section.

A suitable pump has to be provided to pump unbleached water for the distribution to the finishing columns and areas in the building. The water should be pumped from a clean source.

For Water Supply arrangements including details of the water supply system, refer to the drawings. The water supply should be provided in accordance with the provisions of the National Building Code of India.

CONSTRUCTION SHALL BE MAINTAINED TO THE STANDARD SPECIFICATIONS AS REQUIRED BY THE NATIONAL BUILDING CODE OF INDIA, 1989, IN SUCH MANNER AS TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF INDIA, 1989, AND THE NATIONAL BUILDING CODE OF INDIA, 1989, AND THE NATIONAL BUILDING CODE OF INDIA, 1989.

The Construction of Section 110 shall be in accordance with the provisions of the National Building Code of India, 1989.

Existing Materials to be used in the construction should conform to the provisions of the National Building Code of India, 1989.

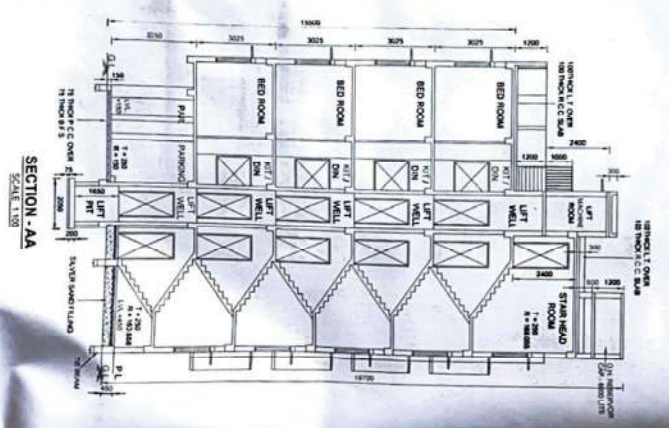
The construction of Section 110 shall be in accordance with the provisions of the National Building Code of India, 1989.

DESIGNED AND VERIFIED BY  
A. CHANDRASEKHAR  
11/11/2019

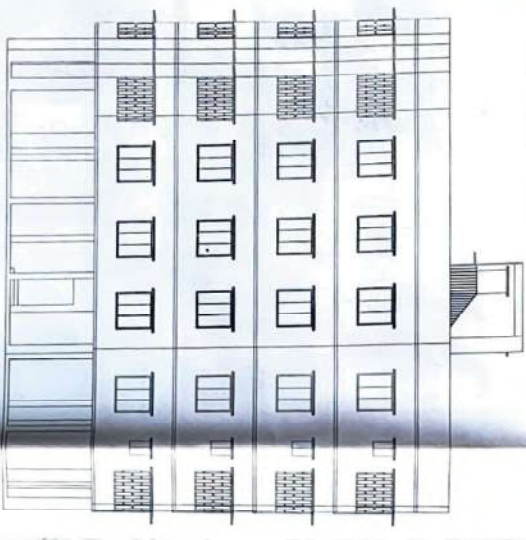
11/11/2019  
9:01:16 AM

Contractor shall provide a suitable hot joint water seal on the concrete surface before proceeding with the grout work.

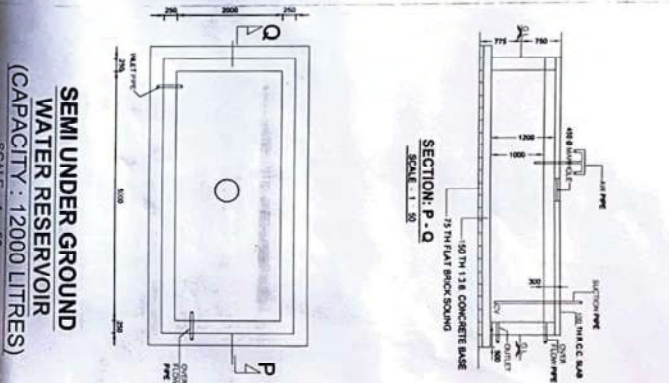
Structural steel and other materials to be used in the construction shall conform to the provisions of the National Building Code of India, 1989. The construction shall be in accordance with the provisions of the National Building Code of India, 1989.



SECTION-AA  
SCALE: 1:50

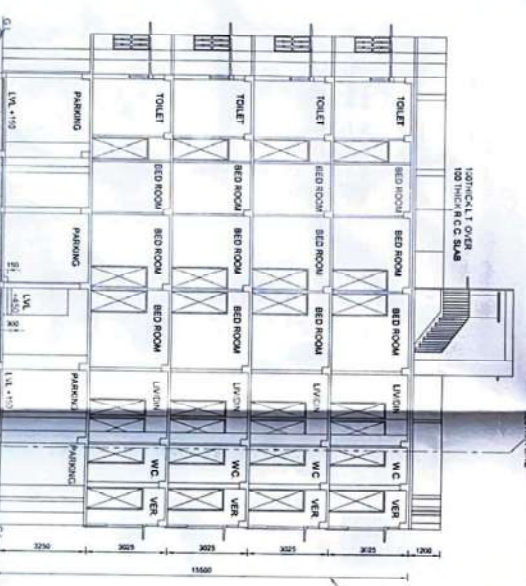


FRONT SIDE ELEVATION  
SCALE: 1:50

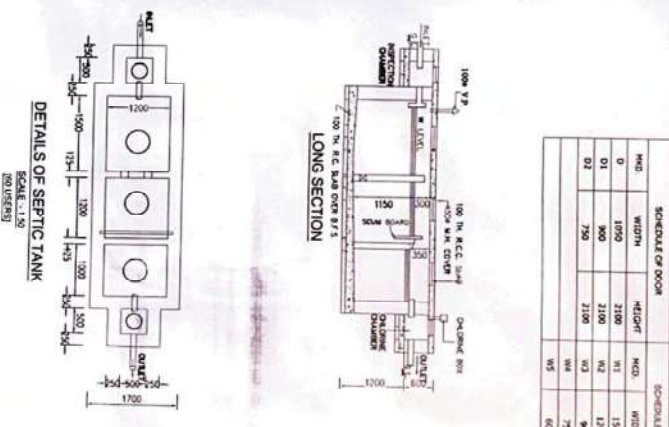


SECTION-P-Q  
SCALE: 1:50

SEMI UNDER GROUND  
WATER RESERVOIR  
(CAPACITY : 12000 LITRES)  
SCALE: 1:50



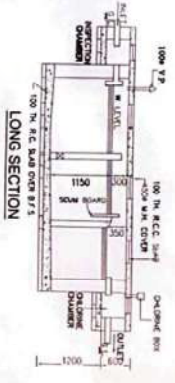
SECTION-BB  
SCALE: 1:50



DETAILS OF SEPTIC TANK  
SCALE: 1:50

SCHEDULE OF DOORS AND WINDOWS :-

SCHEDULE OF DOOR			SCHEDULE OF WINDOW		
NO	WIDTH	HEIGHT	NO	WIDTH	HEIGHT
D 0	1050	2100	W1	1500	1375
D 1	900	2100	W 2	1200	1375
D 2	750	2100	W 3	900	1375
			W 4	750	1375
			W 5	600	900



LONG SECTION

**PLAN OF A PROPOSED G+V STORED RESIDENTIAL BUILDING AT PREMISES NO.-159B, SARASINA MAIN ROAD, WARD NO.-126, BOROHACHANIV, MOUTZA-DAKSHIN BEHALA, JL NO.-16, RS/LR KHATAN NO.-457, RS/LR PLOT NO.-354/1009, P.S.-SARASINA, DIST.24 PCS (SOUTH).**

AREA OF LAND - 7 K - 6 CD - 5 Sq.R. = 49.175 Sq.m.  
NAME OF OWNER:- (1) SHRI ASHIS KUMAR SHIKHRIE (2) SHRI ASHIS KUMAR SHIKHRIE (3) SHRI ALOKE KUMAR SHIKHRIE

**SPECIFICATIONS :-**

- GRADE OF CONC. IS N-20 & GRADE OF STEEL IS N-200
- MIN. IN C/F IS 1:1.200 IN C/F IS 1:1.200 ALL OTHER WALLS 1:2 IN C/F
- ALL OTHER SPECIFICATIONS ARE AS PER NATIONAL BUILDING CODE OF INDIA
- ALL DIMENSIONS ARE IN METERS.

**DECLARATION OF I.B.S. :-**

CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISIONS OF ANC BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME AND THAT THE SAME IS IN ACCORDANCE WITH THE PROVISIONS OF THE ACT AND RULES WHICH HAS BEEN REGISTERED AND GRANTED BY THE I.B.S. ENGINEER AND A COPY OF THE SAME IS ATTACHED TO THIS PLAN. THE LAND IS CONVEYED BY BOUNDARY WALL, BOUNDARY SURVEY AND SPACING LINE WILL BE CONVEYED BY BOUNDARY WALL.

*Signature: Ashis*

**DECLARATION OF STRUCTURAL ENGINEER :-**

STRUCTURAL DESIGN AND DRAWING OF THIS BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISIONS OF ANC BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME AND THAT THE SAME IS IN ACCORDANCE WITH THE PROVISIONS OF THE ACT AND RULES WHICH HAS BEEN REGISTERED AND GRANTED BY THE I.B.S. ENGINEER AND A COPY OF THE SAME IS ATTACHED TO THIS PLAN. THE LAND IS CONVEYED BY BOUNDARY WALL, BOUNDARY SURVEY AND SPACING LINE WILL BE CONVEYED BY BOUNDARY WALL.

*Signature: Ashis*

**DECLARATION OF GEO-TECHNICAL ENGINEER :-**

THE ENGINEER HAS INSPECTED THE SITE AND CARRIED OUT THE NECESSARY INVESTIGATION AND HAS FOUND THAT THE EXISTING SOIL OF THE SITE IS SUITABLE FOR THE PROPOSED BUILDING AND THE FOUNDATION DESIGN IS SUITABLE FOR THE PROPOSED BUILDING.

*Signature: Ashis*

APPROVED

THE MUNICIPAL ENGINEER

NO OBJECTION CERTIFICATE FOR HEIGHT CLEARANCE

NO. ID : BEHA/ENST/B/07/2018/23099

BEHA FOR OFFICE USE

IT'S APPLICABLE AS PER CIRCULAR NO. 53/MANC. 428/2017 DT. 05/02/2018

**DECLARATION OF OWNER :-**

I, THE UNDERSIGNED, HEREBY DECLARE THAT THE SMALL PORTION OF THE LAND IS BEING DONATED TO THE MUNICIPAL CORPORATION FOR THE CONSTRUCTION OF A BUILDING AS PER THE PROVISIONS OF THE ACT AND RULES WHICH HAS BEEN REGISTERED AND GRANTED BY THE I.B.S. ENGINEER AND A COPY OF THE SAME IS ATTACHED TO THIS PLAN. THE LAND IS CONVEYED BY BOUNDARY WALL, BOUNDARY SURVEY AND SPACING LINE WILL BE CONVEYED BY BOUNDARY WALL.

*Signature: Ashis*

**DECLARATION OF OWNER :-**

I, THE UNDERSIGNED, HEREBY DECLARE THAT THE SMALL PORTION OF THE LAND IS BEING DONATED TO THE MUNICIPAL CORPORATION FOR THE CONSTRUCTION OF A BUILDING AS PER THE PROVISIONS OF THE ACT AND RULES WHICH HAS BEEN REGISTERED AND GRANTED BY THE I.B.S. ENGINEER AND A COPY OF THE SAME IS ATTACHED TO THIS PLAN. THE LAND IS CONVEYED BY BOUNDARY WALL, BOUNDARY SURVEY AND SPACING LINE WILL BE CONVEYED BY BOUNDARY WALL.

*Signature: Ashis*

**CREATIVE STATICAL CONCERN**

CREATIVE STATICAL CONCERN

CREATIVE STATICAL CONCERN



SHEET NO. - 2 OF 2

LOW COPY

REQUIREMENTS FOR SUBMITTANCE

CONSTRUCTION SITE SHALL BE MAINTAINED  
TO PREVENT AUTO BRENDING AS REQUIRED  
BY 2003 I.C. 45 OF CMC ACTORS. IN ADDITION  
TO THE ABOVE, THE FOLLOWING REQUIREMENTS  
SHALL APPLY TO ALL WAREHOUSES, BARRACKS,  
AND OTHER BUILDINGS OPEN TO THE PUBLIC.

No rain water pipe should be fixed in  
any building. The rain water pipe should  
be connected to the storm sewer system  
and the connection should be made  
in accordance with the drainage code.

Before starting any construction the  
site must conform with the following  
and all the conditions as required in the  
above mentioned code. The contractor  
shall be responsible for the connection  
to existing sewer lines and water lines.

A suitable pump has to be provided i.e.  
pumping untreated water for the collection  
of rain water. The pump should be  
building frame structure and rain water  
rain is not available.

Plan for Water Supply arrangements including  
water supply and sewerage should be  
submitted to the Office of the Corporation  
Supply and the sanction obtained before  
commencing work. The water supply  
arrangements should be in accordance  
with the provisions of the code.

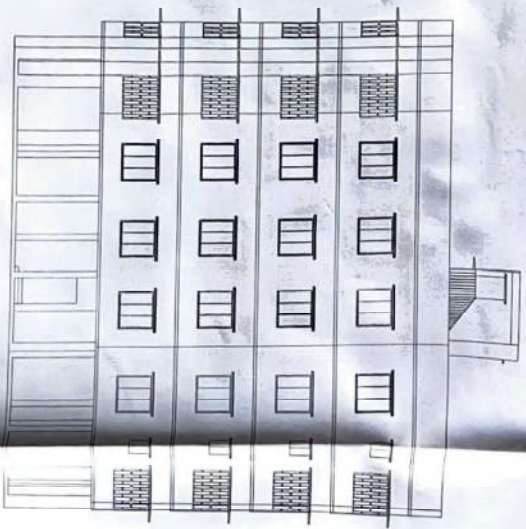
Approved for the Corporation by the  
Secretary, 2003 I.C. 45 of CMC ACTORS, IN ADDITION  
TO THE ABOVE, THE FOLLOWING REQUIREMENTS  
SHALL APPLY TO ALL WAREHOUSES, BARRACKS,  
AND OTHER BUILDINGS OPEN TO THE PUBLIC.  
The contractor shall be responsible for the connection  
to existing sewer lines and water lines.

1. The contractor shall be responsible for the connection  
to existing sewer lines and water lines.  
2. The contractor shall be responsible for the connection  
to existing sewer lines and water lines.  
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to existing sewer lines and water lines.  
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9. The contractor shall be responsible for the connection  
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10. The contractor shall be responsible for the connection  
to existing sewer lines and water lines.

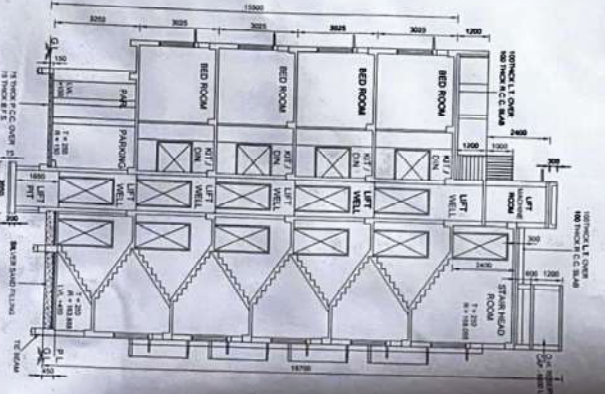


CHECKED AND VERIFIED  
ALEXIS A. EIC  
XVI 2019

FRONT SIDE ELEVATION  
SCALE: 1/320



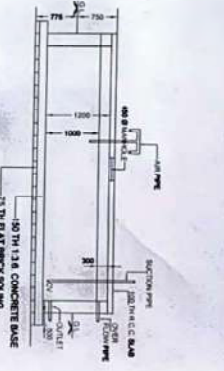
SECTION - AA  
SCALE: 1/320



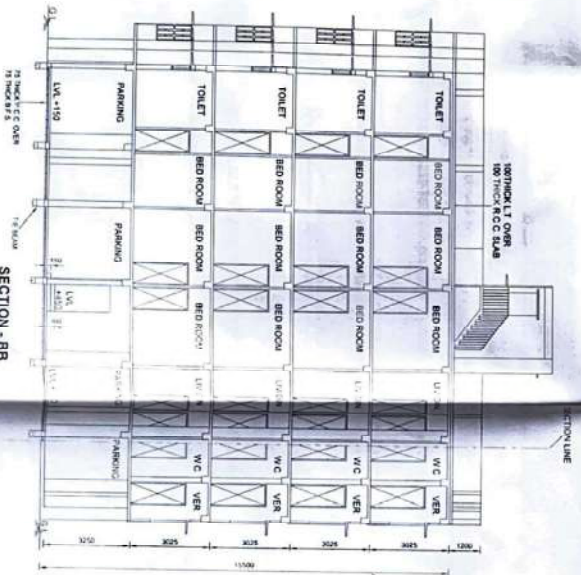
SEMI UNDER GROUND  
WATER RESERVOIR  
(CAPACITY: 12000 LITRES)  
SCALE: 1:50



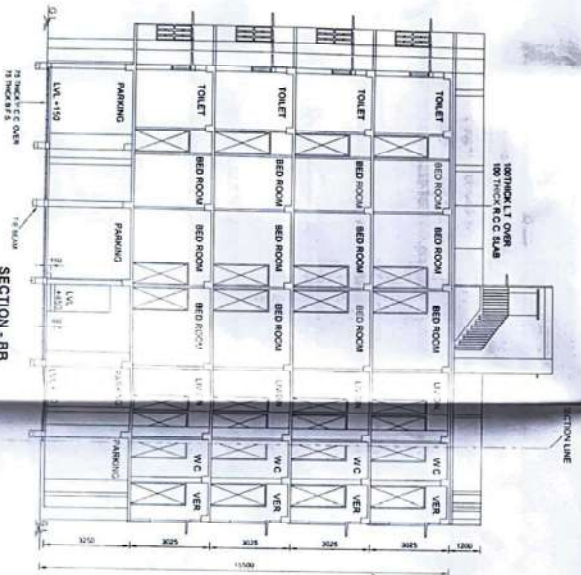
SECTION - P-Q  
SCALE: 1:50



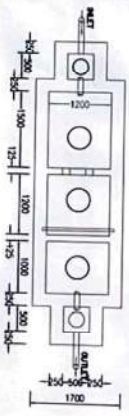
SECTION - BB  
SCALE: 1/320



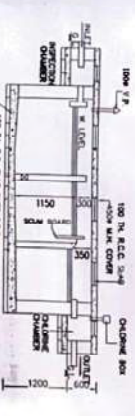
SECTION - CC  
SCALE: 1/320



DETAILS OF SEPTIC TANK  
SCALE: 1:30



LONG SECTION  
SCALE: 1/32



SCHEDULE OF DOORS AND WINDOWS :-

SCHEDULE OF DOORS				SCHEDULE OF WINDOWS			
NO.	WIDTH	HEIGHT	NO.	WIDTH	HEIGHT		
D	1000	2100	W5	1500	1320		
D1	900	2100	W7	1200	1320		
D2	750	2100	W3	900	1270		
			W4	750	600		
			W5	600	600		

**PLAN OF A PROPOSED G+IV STORED RESIDENTIAL BUILDING AT PREMISES NO.-159B, SARBUNGA MAIN ROAD, WARD NO.-12A, BOROUGH-XIV, MOUZADAKSHIN BHALLA, II, NO.-16, RS/LR KEATIAN NO.-457, RS/LR PLOT NO.-154/1/1009, P.S.-SARSUNGA, DIST.-24 PUS (SOUTH).**

**AREA OF LAND: 7K - 6 Ch. - 5 Sq.ft. = 493.775 Sq.m.**

**NAME OF OWNER: (1) SHRI. ASHIM KUMAR MUKHERJEE (2) SHRI. ASHIS KUMAR MUKHERJEE (3) SHRI. ALOKE KUMAR MUKHERJEE**

**SPECIFICATIONS :-**

- GRADE OF CONC. IS M-20 & GRADE OF STEEL IS Fe-250
- ALL OTHERS WILL BE AS PER THE C.E.S. ALL OTHERS WILL BE AS PER THE C.E.S.
- ALL OTHER SPECIFICATIONS ARE AS PER NATIONAL BUILDING CODE OF INDIA
- ALL DIMENSIONS ARE IN METRE.

**DECLARATION OF L.B.S. :-**

WE HEREBY DECLARE THAT THE BUILDING PLAN AND OTHER DOCUMENTS OF THE ABOVE MENTIONED PROJECT ARE THE PROPERTY OF THE ARCHITECT AND WE HAVE THE FULL AUTHORITY TO SIGN THE SAME. WE HAVE CHECKED THE PLAN AND OTHER DOCUMENTS AND WE HAVE NO OBJECTION TO THE SAME. WE HAVE NO OBJECTION TO THE SIGNATURE OF THE ARCHITECT ON THE SAME. WE HAVE NO OBJECTION TO THE SIGNATURE OF THE ARCHITECT ON THE SAME.

**DECLARATION OF STRUCTURAL ENGINEER :-**

WE HEREBY DECLARE THAT THE BUILDING PLAN AND OTHER DOCUMENTS OF THE ABOVE MENTIONED PROJECT ARE THE PROPERTY OF THE ARCHITECT AND WE HAVE THE FULL AUTHORITY TO SIGN THE SAME. WE HAVE CHECKED THE PLAN AND OTHER DOCUMENTS AND WE HAVE NO OBJECTION TO THE SAME. WE HAVE NO OBJECTION TO THE SIGNATURE OF THE ARCHITECT ON THE SAME. WE HAVE NO OBJECTION TO THE SIGNATURE OF THE ARCHITECT ON THE SAME.

**DECLARATION OF GEO-TECHNICAL ENGINEER :-**

WE HEREBY DECLARE THAT THE BUILDING PLAN AND OTHER DOCUMENTS OF THE ABOVE MENTIONED PROJECT ARE THE PROPERTY OF THE ARCHITECT AND WE HAVE THE FULL AUTHORITY TO SIGN THE SAME. WE HAVE CHECKED THE PLAN AND OTHER DOCUMENTS AND WE HAVE NO OBJECTION TO THE SAME. WE HAVE NO OBJECTION TO THE SIGNATURE OF THE ARCHITECT ON THE SAME. WE HAVE NO OBJECTION TO THE SIGNATURE OF THE ARCHITECT ON THE SAME.

**DECLARATION OF OWNER :-**

WE HEREBY DECLARE THAT THE BUILDING PLAN AND OTHER DOCUMENTS OF THE ABOVE MENTIONED PROJECT ARE THE PROPERTY OF THE ARCHITECT AND WE HAVE THE FULL AUTHORITY TO SIGN THE SAME. WE HAVE CHECKED THE PLAN AND OTHER DOCUMENTS AND WE HAVE NO OBJECTION TO THE SAME. WE HAVE NO OBJECTION TO THE SIGNATURE OF THE ARCHITECT ON THE SAME. WE HAVE NO OBJECTION TO THE SIGNATURE OF THE ARCHITECT ON THE SAME.



APPROVED  
[Signature]

**CREATIVE STATICAL CONCERN**  
STATISTICAL ANALYSIS & COMPUTATION  
NO. 12, SARDAR HALL,  
MAYAPUR, KOLKATA-700016, WEST BENGAL.

**SHEET NO. - 2 OF 2**

RESIDENTIAL BUILDING

NON-RESIDENTIAL BUILDING

No on-site fire should be used or discharged on Road or Freeway. On-site fire should be located at least 10m from the building and the location should be clearly marked with the drainage water.

Building materials, construction and the conditions as proposed in the plan should be approved by the Engineer. The validity of the written approval is subject to the above conditions.

A building plan that is approved in writing, unless stated otherwise, shall be subject to the following conditions and shall be subject to the following conditions:

1. The building shall be constructed in accordance with the provisions of the Building Code of India.

2. The building shall be constructed in accordance with the provisions of the Building Code of India.

3. The building shall be constructed in accordance with the provisions of the Building Code of India.

NON-RESIDENTIAL BUILDING SHALL BE APPROVED TO THE ENGINEER IN CHARGE OF THE MUNICIPALITY ON THE BASIS OF THE BUILDING PLAN AND THE BUILDING CODE OF INDIA. THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF INDIA AND THE BUILDING PLAN. THE BUILDING SHALL BE APPROVED BY THE ENGINEER IN CHARGE OF THE MUNICIPALITY ON THE BASIS OF THE BUILDING PLAN AND THE BUILDING CODE OF INDIA.

1. The building shall be constructed in accordance with the provisions of the Building Code of India.

2. The building shall be constructed in accordance with the provisions of the Building Code of India.

3. The building shall be constructed in accordance with the provisions of the Building Code of India.

REGISTERED ARCHITECT  
A. E. JAYARAJ  
XXVI

11 JAN 2019  
2018/1018

**CERTIFIED COPY**  
KOLKATA MUNICIPAL CORPORATION  
CERTIFIED COPY OF THE BUILDING PLAN No. 2018/1018 XVI  
Borough No. XVI  
Approved Engineer XVI

1. The building shall be constructed in accordance with the provisions of the Building Code of India.

2. The building shall be constructed in accordance with the provisions of the Building Code of India.

3. The building shall be constructed in accordance with the provisions of the Building Code of India.

1. The building shall be constructed in accordance with the provisions of the Building Code of India.

2. The building shall be constructed in accordance with the provisions of the Building Code of India.

3. The building shall be constructed in accordance with the provisions of the Building Code of India.