

SCHEDULE A

DESCRIPTION OF THE [APARTMENT/PLOT] AND TILE GARAGE/ COVERED PARKING
(IF APPLICABLE) ALONG WITH BOUNDARIES IN ALL FOUR DIRECTIONS

All that piece and parcel of land measuring about 8093.6 square meters (equivalent to 2 acres) be the same or little more or less being Plot No. IID/10 in Action Area – IID on street no. 1111(73.3 M Wide) (M.A.R.) at New Town, Kolkata, Police Station New Town, District North 24 Parganas, presently in the Panchayet Area falling within Mouza Recjauni, J.L. No. 13 Under Rajarhat Bishnupur – I, Gram Panchayet and butted and bounded as follows:

ON THE NORTH: By HIDCO Land

ON THE EAST : By Street No. 1111 (73.3M Wide) (M.A.R)

ON THE SOUTH: By Plot No. 11D/12



ON THE WEST : By Plot No. 11D/9

SCHEDULE B

SCHEDULE B
FLOOR PLAN OF THE APARTMENT



(T.T.- TOPSEL TOYOTA PART)

<p>PROJECT -</p> <h2>RSH CREST</h2> <p>B + G + IX STORED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.</p>	<p>TITLE -</p> <p>FIRST FLOOR PLAN (LVL. +6.60 M.)</p>	<p>CLIENT -</p>  <p>SHREE RSH GROUP Our Commitment. Your Comfort</p>	 <p>SCALE - 1 : 225 DATE : - 05.04.21</p>
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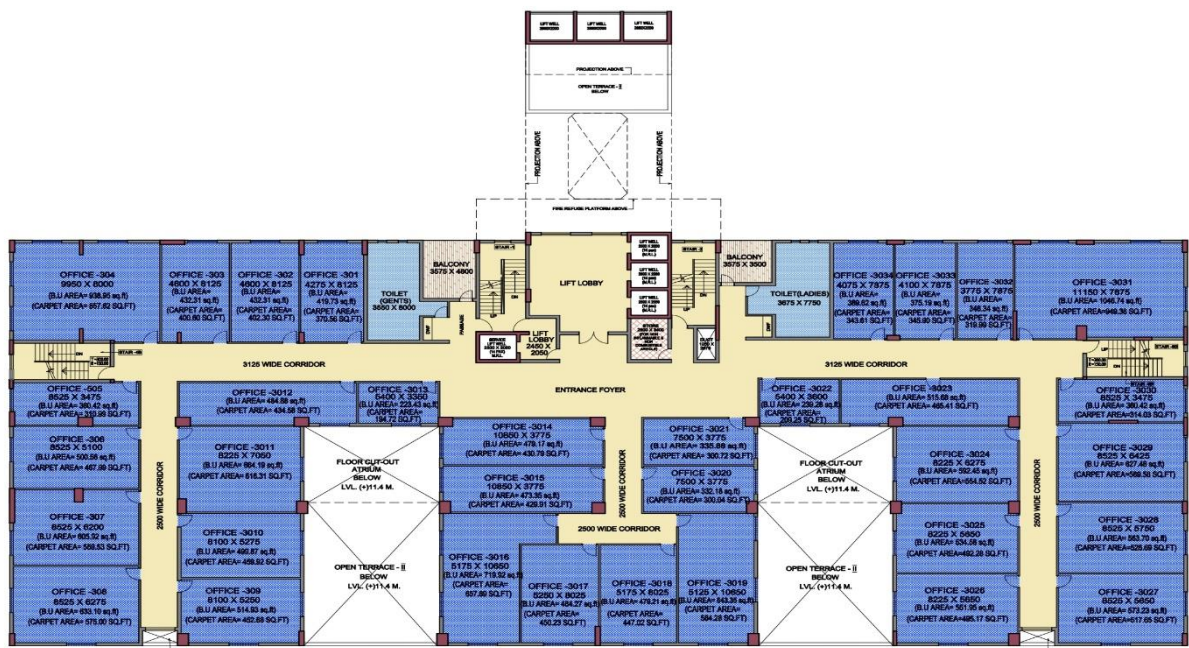
(T.T- TOPSEL TOYOTA PART)

PROJECT - **RSH CREST**
B + G + IX STORED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.

TITLE - **SECOND FLOOR PLAN**
(LVL. +11.40 M.)

CLIENT - **SHREE RSH GROUP**
Our Commitment. Your Comfort.

SCALE - 1 : 225
DATE - 05.04.21

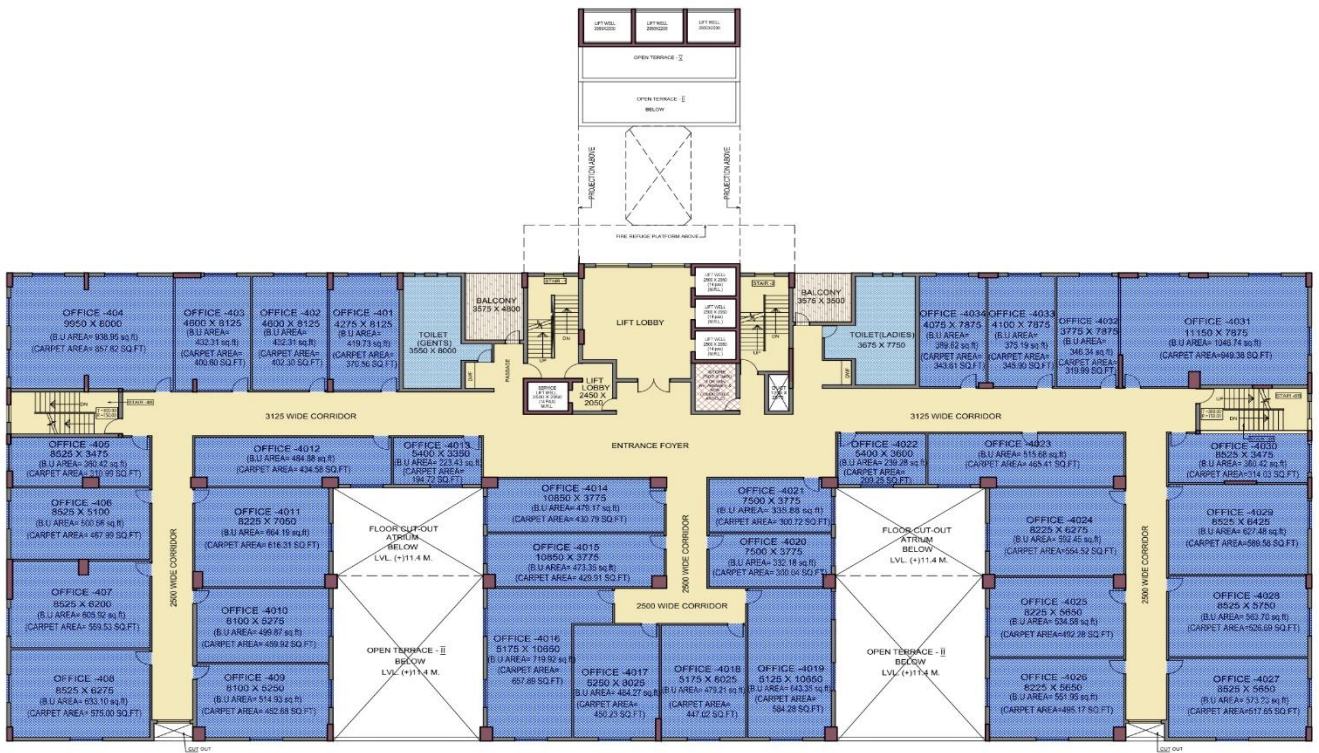




PROJECT - **RSH CREST**
B + G + IX STORED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.

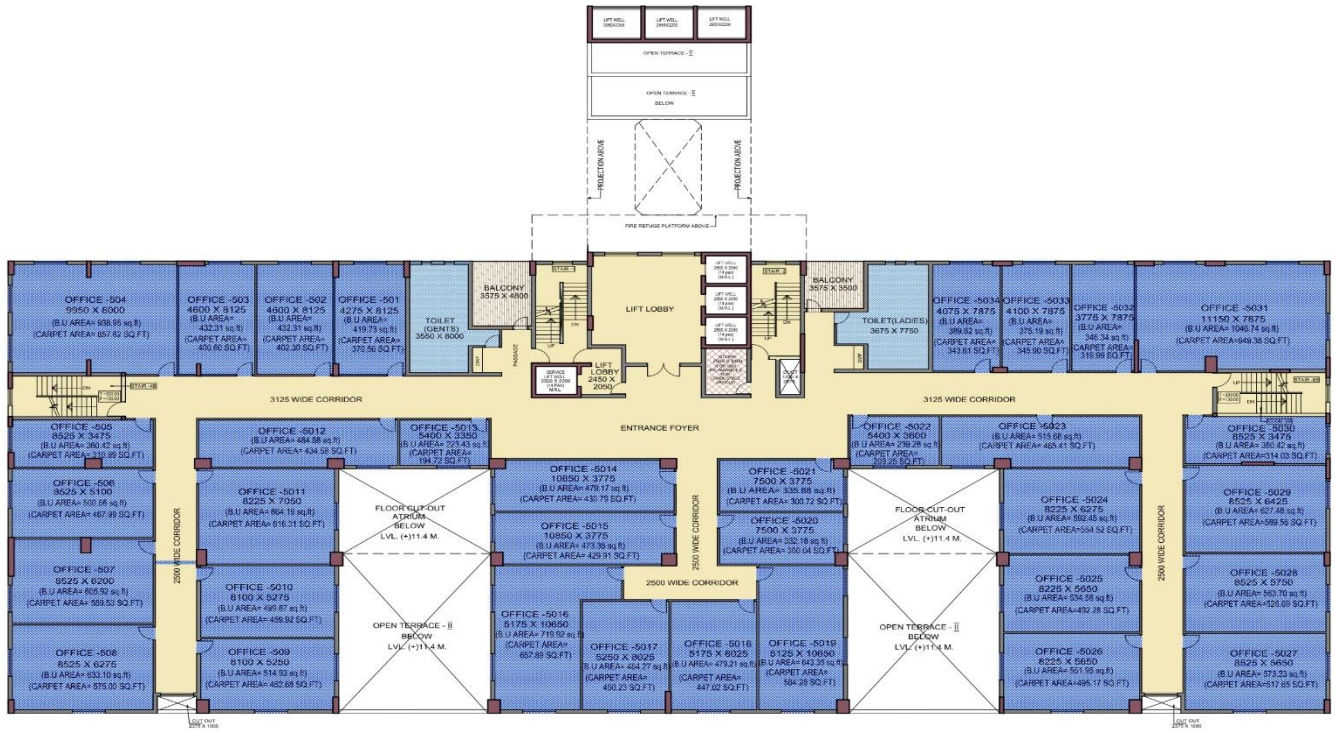
TITLE - **THIRD FLOOR PLAN**
(LVL. +14.85 M.)



CLIENT - **SHREE RSH GROUP**
Our Commitment. Your Comfort.

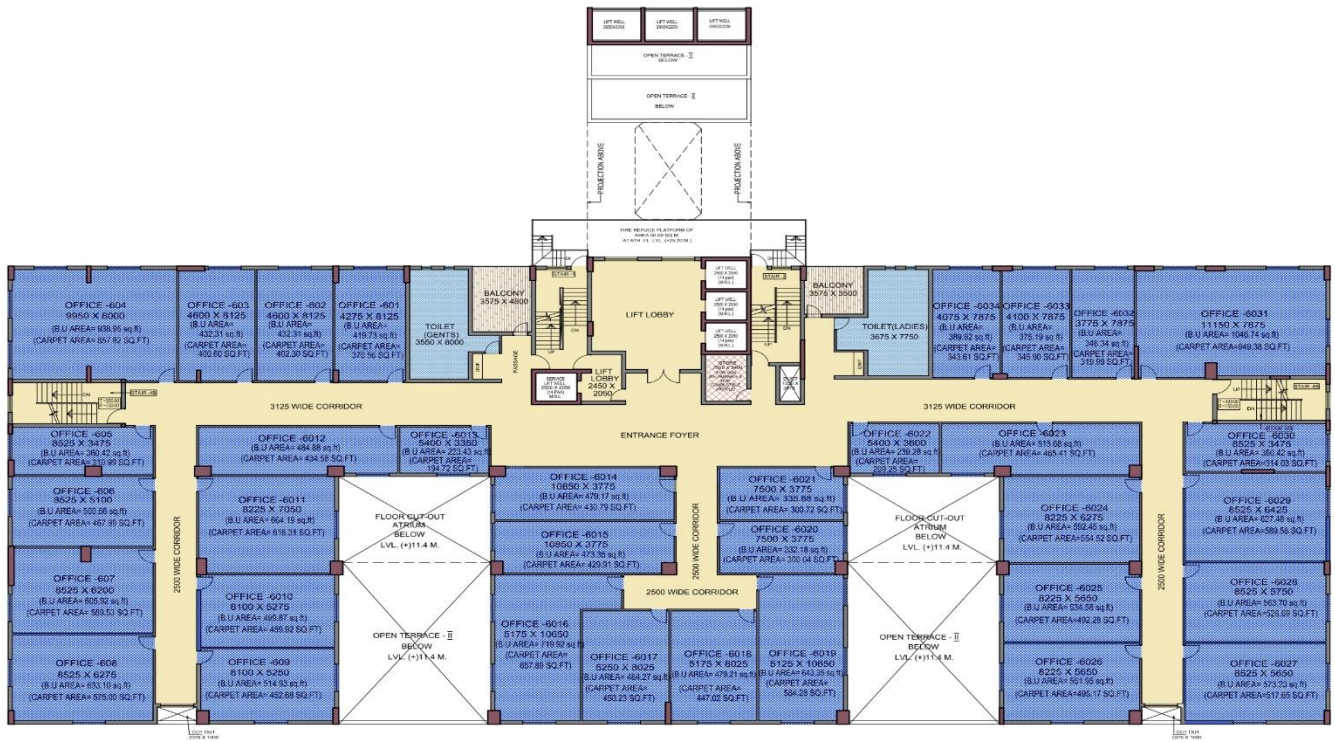
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DATE - 05.04.2021



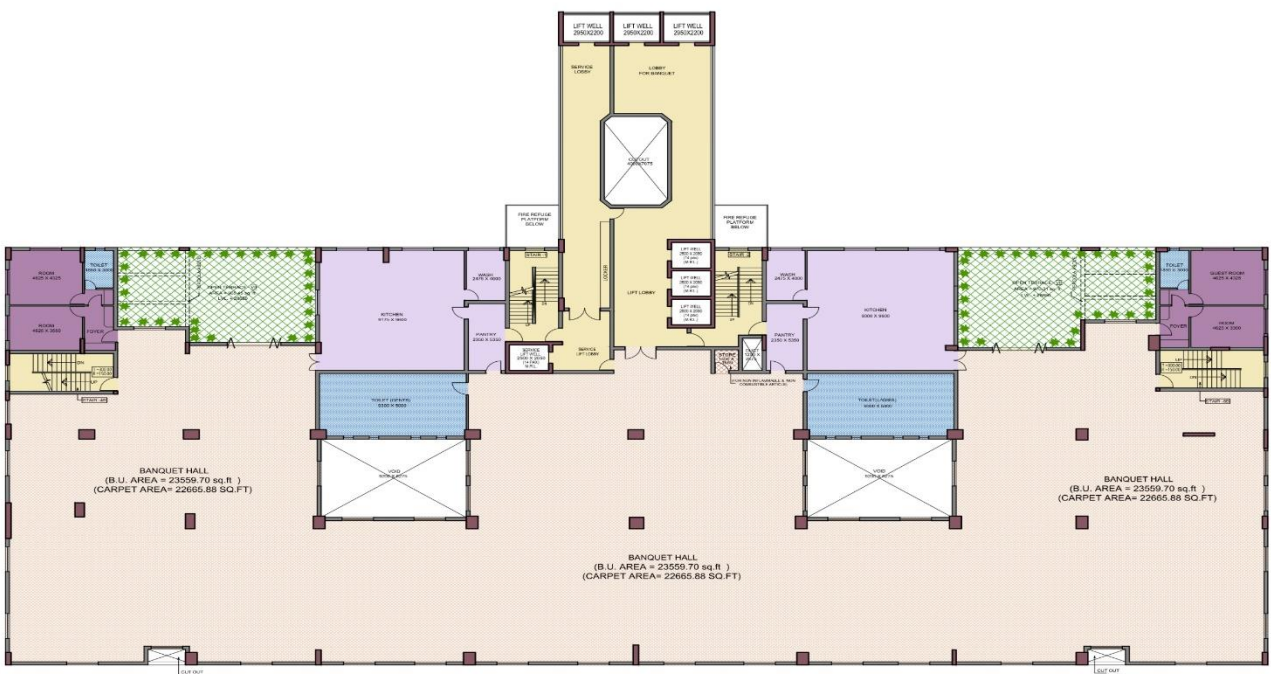
<p>PROJECT -</p> <h2 style="text-align: center;">RSH CREST</h2> <p style="text-align: center;">B + G + IX STORIED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.</p>	<p>TITLE -</p> <h3 style="text-align: center;">FOURTH FLOOR PLAN</h3> <p style="text-align: center;">(LVL. +18.30 M.)</p>	<p>CLIENT -</p>  <p>SHREE RSH GROUP Our Commitment, Your Comfort</p>	 <p>SCALE - 1 : 225 DATE : - 05.04.21</p>
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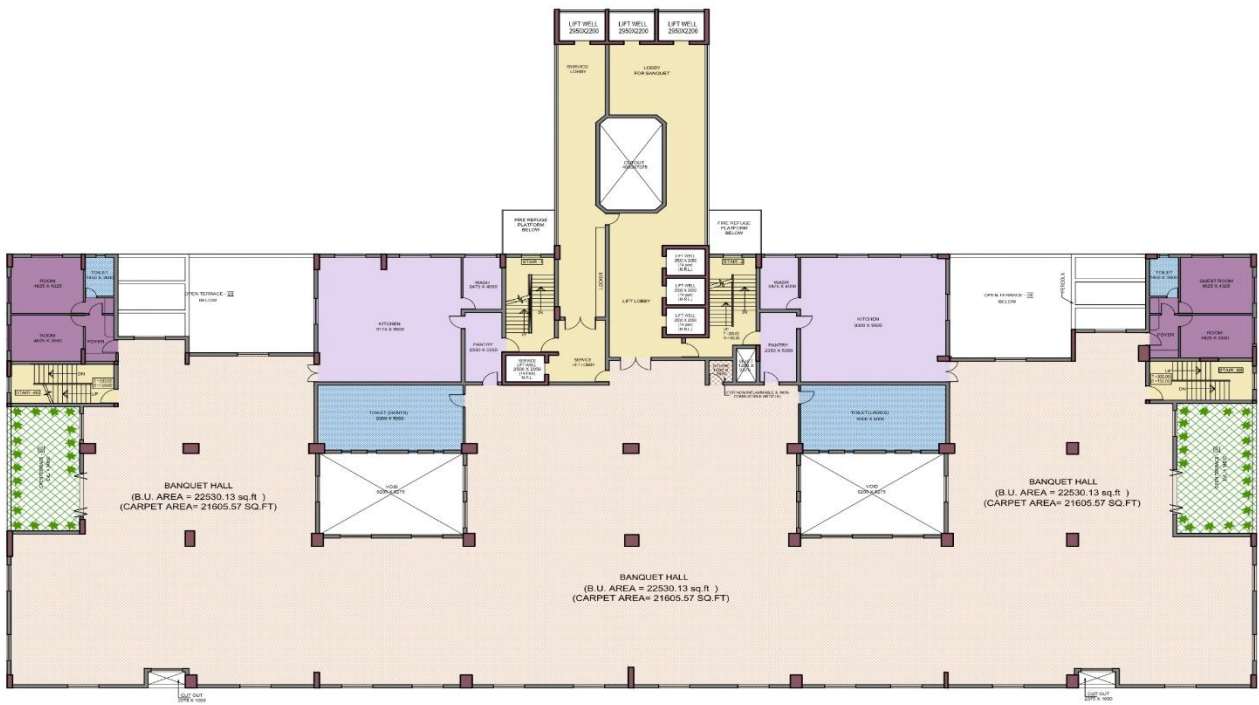
<p>PROJECT -</p> <h2 style="text-align: center;">RSH CREST</h2> <p style="text-align: center;">B + G + IX STORIED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.</p>	<p>TITLE -</p> <h3 style="text-align: center;">FIFTH FLOOR PLAN</h3> <p style="text-align: center;">(LVL. +21.75 M.)</p>	<p>CLIENT -</p>  <p>SHREE RSH GROUP Our Commitment, Your Comfort</p>	 <p>SCALE - 1 : 225 DATE : - 05.04.21</p>
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<p>PROJECT - RSH CREST B + G + IX STORIED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.</p>	<p>TITLE - SIXTH FLOOR PLAN (LVL. +25.20 M.)</p>	<p>CLIENT - SHREE RSH GROUP Our Commitment, Your Comfort</p>	<p>SCALE - 1 : 225 DATE : - 05.04.21</p>
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<p>PROJECT - RSH CREST B + G + IX STORIED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.</p>	<p>TITLE - SEVENTH FLOOR PLAN (LVL. +28.65 M.)</p>	<p>CLIENT - SHREE RSH GROUP Our Commitment, Your Comfort</p>	<p>SCALE - 1 : 225 DATE : - 05.04.21</p>
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<p>PROJECT - RSH CREST B + G + IX STORED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.</p>	<p>TITLE - EIGHTH FLOOR PLAN (LVL. +34.05 M.)</p>	<p>CLIENT - SHREE RSH GROUP Our Commitment. Your Comfort.</p>	<p>SCALE - 1 : 225 DATE - 05.04.21</p>
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<p>PROJECT - RSH CREST B + G + IX STORED COMMERCIAL BUILDING, NEWTOWN, KOLKATA.</p>	<p>TITLE - NINTH FLOOR PLAN (LVL. +39.45 M.)</p>	<p>CLIENT - SHREE RSH GROUP Our Commitment. Your Comfort.</p>	<p>SCALE - 1 : 225 DATE - 05.04.21</p>
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SCHEDULE C

PAYMENT SCHEDULE

On booking 10% of total consideration + GST

On completion of basement 10% of total consideration + 50% of legal charges + GST

On completion of deck level 5% of total consideration + GST

On casting of 1st floor 5% of total consideration + GST

On casting of 4th floor 10 % of total consideration + GST

On casting of 7th floor 10% of total capacity + GST

On casting of 10th floor 10% of total consideration + GST

On casting of ultimate roof floor 10% of total capacity + GST

On complete of flooring 10% of total consideration + GST

On complete of building facade 10% of total consideration + GST

On possession 10 % of total consideration + EDC+ 50 % of Legal + GST

Schedule D

'Specifications, Amenities, Facilities of the Office Unit]

FOUNDATION: RCC Foundation.

STRUCTURE: Earthquake resistant Reinforced Concrete Cement (RCC) framed structure with seismic compliance as per IS Code.

ELEVATORS: Automatic Lifts.

SERVICE ELEVATOR: Automatic Lift.

FLOORING:

Ground Floor Lobby - Marble

Units - Vitrified Tiles.

Toilets - Antiskid Vitrified Tiles.

Roof - Antiskid Vitrified Tiles.

Stair Case- Granite/Kota Stone

DOORS & WINDOWS :-

UNIT MAIN DOOR: Rolling Shutter.

WINDOWS: Windows matching with the elevation.

WALL FINISH AND INTERIORS :-

Gypsum Plaster finish on all interior walls.

Common areas will be painted with Acrylic Emulsion Paint.

All floor lobbies to be finished with decorative ceiling and Marble Flooring and Granite paneled lift façade.

Anti-termite, treatment on land and building plinth.

ELECTRICAL:

Concealed copper wiring till main DB with premium quality MCB's.

BATHROOM :-

Vitrified tiles upto False Ceiling Height.

Fittings in all the bathrooms.

Light coloured or equivalent sanitary ware.

Exhaust fans in bathrooms.

Water proofing.

GENERAL FACILITIES:-

Intercom facility in each unit with closed circuit T.V. for communication between main lobby, gate and units.

DTH/Cable connection in all units.

Modern Fire fighting equipment's as per recommendations of WBF&ES.

Power Back-up for common areas and facilities.

Main lobby at the ground floor to be air-conditioned

Water and Heat proofing of the roof and finished with roof tiles.

Deep Tube-well and corporation supply with adequate UG reservoir for drinking and fire fighting water along with iron removal and water softener plant.

Driveway — Greenery, flowerpots/creepers. Floors with beautiful paver tiles.

Decorative Boundary wall as per specification of the Architect

POWER SUPPLY & BACK UP:

CESC HT / LT deposits, cabling charges and transformer charges to be paid by respective Office Unit Acquirers.

Power back up at extra cost as per the requirement of the Office Unit Acquirers.

Schedule E

{Common Areas}

1. Lifts, Lift rooms, lift installations
2. Boundary walls
3. Main Gates, Entrances and Exits
4. Paths and Passenger Corridors
5. Driveways
6. Staircases, stairways, landing and lobbies.
7. Overhead reservoirs
8. Common Toilets and fittings and fixtures
9. Wiring, electric meter for lighting for common areas etc.
10. Windows, doors, grills and other fittings of the common areas
11. Foundation
12. Transformer, Transformer Room and its installation and fittings and fixtures for lighting the staircase lobby and other common areas
13. Generator, Generator Room and its installations
14. Pump, Pump Room and its installation
15. Drains
16. Sewers
17. Underground water reservoir
18. The said Land described in Schedule A
19. Ultimate Roof
20. Such other common parts and portions as may be determined by the Promoter upon completion of the said new building in accordance with applicable laws